

ADDITION & REMODEL FOR:

# GRACE CHAPEL

27501 SW PARKWAY AVE. WILSONVILLE, OREGON

WILSONVILLE, OR

## GRACE CHAPEL

OWNER

9025 SW HILLMAN COURT, SUITE 3128  
WILSONVILLE, OREGON 97214  
+503-570-2988  
CONTACT: ARCHITECT

## CIDA, INC.

ARCHITECT / STRUCTURAL ENGINEER

15895 SW 72ND AVE, SUITE 200  
PORTLAND, OR 97224  
+503-226-1285  
CONTACT: CHRIS WALKER / CURTIS GAGNER

## AAI ENGINEERING

CIVIL ENGINEER / LANDSCAPE ARCHITECT

4875 SW GRIFFITH DR, SUITE 300  
BEAVERTON, OR 97005  
+503-628-3030  
CONTACT: DUSTIN ELMORE / TERESA LONG

## YORKE & CURTIS

CONTRACTOR

4480 SW 101ST AVE,  
BEAVERTON, OR 97005  
+503-646-2123  
CONTACT: ERIK TIMMONS / JEREMIAH DODSON

## PROJECT SUMMARY

REMODEL OF EXISTING BUILDING (FORMER PIONEER PACIFIC COLLEGE) WITH ADDITION FOR GRACE CHAPEL. EXISTING BUILDING TO HOUSE CHILDREN PROGRAMS WITH ADDITION USED AS CHAPEL AND MULTI-PURPOSE SPACE.

## ZONING CODE INFORMATION

TAX MAP: 3 1W 11

TAX LOT: 00301

ZONE: PDI (PLANNED DEVELOPMENT INDUSTRIAL)

SITE AREA: 1.9 AC

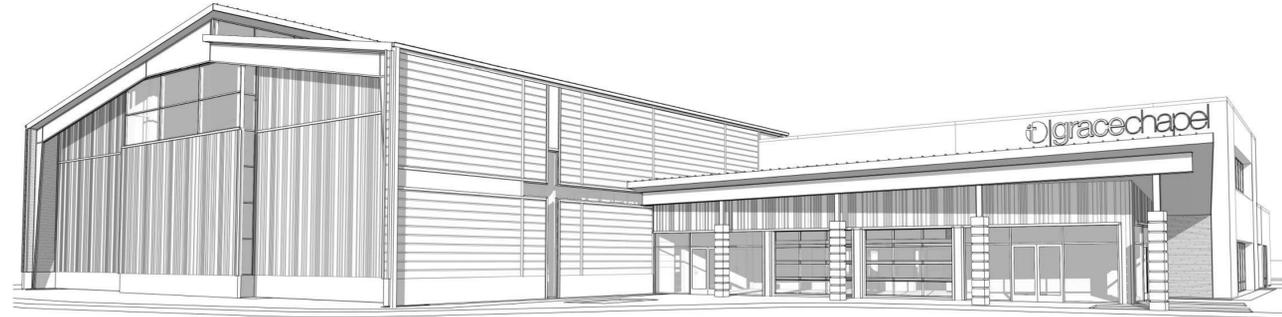
PARKING REQUIRED: PLACES OF PUBLIC ASSEMBLY:  
1 SPACE/ 4 SEATS, OR 8 FT OF BENCH LENGTH IN THE MAIN AUDITORIUM. MAX: 0.8 PER SEAT  
319 SEATS = 80 REQUIRED  
87 SPACES PROVIDED

BUILDING SETBACKS REQUIRED: N=30'-0", 69'-5" PROVIDED  
E= 30'-0", 35'-5" PROVIDED  
S = 30'-0", 53'-2" PROVIDED  
W = 30'-0", 55'-6" PROVIDED

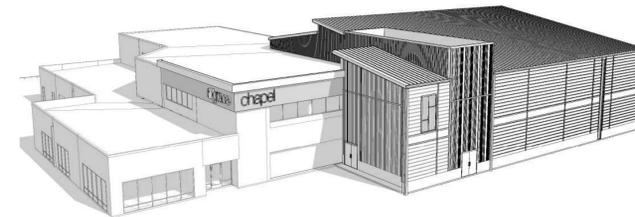
BUILDING HEIGHT LIMIT: NO LIMIT, 40'-5" PROVIDED

## BUILDING CODE INFORMATION

DESIGN CODE: 2014 OREGON STRUCTURAL SPECIALTY CODE (OSSC)



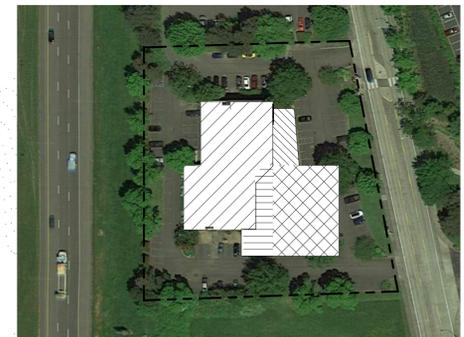
1 NE PARKING LOT



2 NW BIRDS EYE



VICINITY MAP



3 KEY PLAN  
1" = 100'-0"

RELEASES				
SHEET NUMBER	SHEET NAME	CURRENT REVISION	DATE	CURRENT RELEASE
01_GENERAL				
CS1	COVER SHEET	DESIGN REVIEW	08/10/18	x
02_CIVIL				
01	SURVEY	DESIGN REVIEW	08/10/18	x
C0.1	GENERAL NOTES	DESIGN REVIEW	08/10/18	x
C0.2	EXISTING CONDITIONS	DESIGN REVIEW	08/10/18	x
C0.3	DEMOLITION PLAN	DESIGN REVIEW	08/10/18	x
C1.0	SITE PLAN	DESIGN REVIEW	08/10/18	x
C1.5	CIVIL DETAILS	DESIGN REVIEW	08/10/18	x
C2.0	GRADING PLAN	DESIGN REVIEW	08/10/18	x
C3.0	UTILITY PLAN	DESIGN REVIEW	08/10/18	x
C4.0	DETAILS	DESIGN REVIEW	08/10/18	x
C4.1	DETAILS	DESIGN REVIEW	08/10/18	x
03_LANDSCAPE				
L1.0	TREE PRESERVATION & REMOVAL PLAN	DESIGN REVIEW	08/10/18	x
L1.1	PLANTING PLAN	DESIGN REVIEW	08/10/18	x
L2.0	PLANTING DETAILS	DESIGN REVIEW	08/10/18	x
L2.1	IRRIGATION DETAILS	DESIGN REVIEW	08/10/18	x
L3.0	PLANTING & IRRIGATION SPECS	DESIGN REVIEW	08/10/18	x
04_ARCHITECTURAL				
A0.1	SITE PLAN	DESIGN REVIEW	08/10/18	x
A0.2	SITE DETAILS	DESIGN REVIEW	08/10/18	x
A0.3	SITE DETAILS	DESIGN REVIEW	08/10/18	x
A1.0	EXISTING FLOOR PLANS	DESIGN REVIEW	08/10/18	x
A1.1	FLOOR PLAN	DESIGN REVIEW	08/10/18	x
A1.2	FLOOR PLAN	DESIGN REVIEW	08/10/18	x
A2.0	EXISTING ELEVATIONS	DESIGN REVIEW	08/10/18	x
A2.1	ELEVATIONS	DESIGN REVIEW	08/10/18	x
A2.2	ELEVATIONS	DESIGN REVIEW	08/10/18	x
07_ELECTRICAL				
E0.1	SITE PLAN - LIGHTING	DESIGN REVIEW	08/10/18	x



ISSUE DATE	MECHANICAL SIZING	LANDSCAPE DESIGN	FRANCHISE HAULER REVIEW	DESIGN REVIEW
05/21/18	1	2	3	4
07/18/18				
07/18/18				
08/10/18				

**CIDA**  
ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS  
LANDSCAPE

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27501 SW PARKWAY AVE. WILSONVILLE, OREGON

COVER SHEET

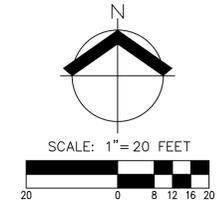
**CS1**

170288.03

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City of Wilsonville  
Exhibit B2 DB18-0055 et al

- NOTES:**
- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBER 18039858 AND 18039861. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
  - FIELD WORK WAS CONDUCTED FEBRUARY 20, 23, 26, 2018.
  - VERTICAL DATUM: ELEVATIONS ARE BASED WASHINGTON COUNTY BENCHMARK NO. 405, BEING A BRASS DISK AT THE NORTHWEST CORNER OF THE ELLOJSEN ROAD OVERPASS ON I-5, AT THE NORTH WILSONVILLE EXIT. ELEVATION OF BENCHMARK = 281.55 (NGVD 29) FEET. USING NGS VERTCON SOFTWARE AND GPS OBSERVATIONS, ELEVATION OF BENCHMARK = 285.09 (NAVD 88). ALL ELEVATIONS SHOWN ARE BASED ON THE NAVD 88 DATUM.
  - THIS MAP DOES NOT CONSTITUTE A PROPERTY BOUNDARY SURVEY.
  - SURVEY IS ONLY VALID WITH SURVEYOR'S STAMP AND SIGNATURE.
  - BUILDING FOOTPRINTS ARE MEASURED TO SIDING UNLESS NOTED OTHERWISE. CONTACT SURVEYOR WITH QUESTIONS REGARDING BUILDING TIES.
  - CONTOUR INTERVAL IS 1 FOOT.
  - TREES WITH DIAMETER OF 6" AND GREATER ARE SHOWN. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.



TREE TABLE		
TREE NUMBER	TYPE	DBH (IN.)
10193	DECIDUOUS	14
10196	DECIDUOUS	12
10197	DECIDUOUS	21
10199	DECIDUOUS	14
10201	DECIDUOUS	12
10204	DECIDUOUS	17
10217	DECIDUOUS	10,10
10262	CONIFEROUS	10,14
10263	DECIDUOUS	17
10276	DECIDUOUS	4
10277	DECIDUOUS	15
10505	DECIDUOUS	15
10512	DECIDUOUS	12
10564	DECIDUOUS	18
10565	DECIDUOUS	12
10566	DECIDUOUS	19
10567	CONIFEROUS	20
10840	DECIDUOUS	24
10949	DECIDUOUS	16
10950	CONIFEROUS	14
10951	DECIDUOUS	12,12
10952	CONIFEROUS	12,16
10954	CONIFEROUS	6,6,12,20
11095	DECIDUOUS	10
11098	DECIDUOUS	10
11138	CONIFEROUS	16
11139	DECIDUOUS	20
11140	DECIDUOUS	16
11141	DECIDUOUS	0
11142	DECIDUOUS	14
11165	DECIDUOUS	16,18,18,24
11166	CONIFEROUS	16,16
11167	CONIFEROUS	20
11168	CONIFEROUS	24
11169	CONIFEROUS	6,6,8,20
11170	DECIDUOUS	24
11180	DECIDUOUS	16



AKS DRAWING FILE: 6613 EX COND.DWG | LAYOUT: LAYOUT



## GENERAL NOTES

- CONSTRUCTION LAYOUT (ALL ACTUAL LINES AND GRADES) SHALL BE STAKED BY A PROFESSIONAL SURVEYOR, REGISTERED IN THE STATE OF OREGON, BASED ON COORDINATES, DIMENSIONS, BEARINGS, AND ELEVATIONS, AS SHOWN, ON THE PLANS.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE HORIZONTAL POSITION PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- PROJECT CONTROL SHALL BE FIELD VERIFIED AND CHECKED FOR RELATIVE VERTICAL POSITION BASED ON THE BENCHMARK STATED HEREON, PRIOR TO BEGINNING CONSTRUCTION LAYOUT.
- WHEN DIMENSIONS AND COORDINATE LOCATIONS ARE REPRESENTED – DIMENSIONS SHALL HOLD OVER COORDINATE LOCATION. NOTIFY THE CIVIL ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY.
- BUILDING SETBACK DIMENSIONS FROM PROPERTY LINES SHALL HOLD OVER ALL OTHER CALLOUTS. PROPERTY LINES AND ASSOCIATED BUILDING SETBACKS SHALL BE VERIFIED PRIOR TO CONSTRUCTION LAYOUT.
- CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING MONUMENTATION DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT OF ANY MONUMENTS DAMAGED OR REMOVED DURING CONSTRUCTION. NEW MONUMENTS SHALL BE REESTABLISHED BY A LICENSED SURVEYOR.
- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS, THE PROJECT SPECIFICATIONS AND THE APPLICABLE REQUIREMENTS OF THE 2015 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE 2014 OREGON PLUMBING SPECIALTY CODE AND REQUIREMENTS OF THE CITY OF WILSONVILLE.
- THE COMPLETED INSTALLATION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS. ALL PERMITS, LICENSES AND INSPECTIONS REQUIRED BY THE GOVERNING AUTHORITIES FOR THE EXECUTION AND COMPLETION OF WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987). EXCAVATORS MUST NOTIFY ALL PERTINENT COMPANIES OR AGENCIES WITH UNDERGROUND UTILITIES IN THE PROJECT AREA AT LEAST 48 BUSINESS-DAY HOURS, BUT NOT MORE THAN 10 BUSINESS DAYS PRIOR TO COMMENCING AN EXCAVATION, SO UTILITIES MAY BE ACCURATELY LOCATED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR SHALL VERIFY ELEVATIONS, PIPE SIZE, AND MATERIAL TYPES OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WITH CONSTRUCTION AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF AAI ENGINEERING, 72 HOURS PRIOR TO START OF CONSTRUCTION TO PREVENT GRADE AND ALIGNMENT CONFLICTS.
- THE ENGINEER OR OWNER IS NOT RESPONSIBLE FOR THE SAFETY OF THE CONTRACTOR OR HIS CREW. ALL O.S.H.A. REGULATIONS SHALL BE STRICTLY ADHERED TO IN THE PERFORMANCE OF THE WORK.
- TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE IMPLEMENTED. THE CONTRACTOR SHALL ADHERE TO CITY OF WILSONVILLE FOR MINIMUM EROSION CONTROL MEASURES. THE ESC FACILITIES SHOWN IN THESE PLANS ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL ROADWAYS, KEEPING THEM CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, AND PROVIDING DUST CONTROL AS REQUIRED.
- TRAFFIC CONTROL SHALL BE PROVIDED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO CITY OF WILSONVILLE FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND SCHEDULING ALL WORK WITH THE OWNER.
- NOTIFY THE CITY INSPECTOR 72 HOURS BEFORE STARTING WORK. A PRECONSTRUCTION MEETING WITH THE OWNER, THE OWNER'S ENGINEER, CONTRACTOR AND THE CITY REPRESENTATIVE SHALL BE REQUIRED.
- THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
- THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.
- EXISTING SURVEY MONUMENTS ARE TO BE PROTECTED DURING CONSTRUCTION OR REPLACED IN ACCORDANCE WITH OREGON REVISED STATUTES 209.140 – 209.155.

## CONSTRUCTION NOTES

### DEMOLITION

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF EXISTING AC, CURBS, SIDEWALKS AND OTHER SITE ELEMENTS WITHIN THE SITE AREA IDENTIFIED IN THE PLANS.
- EXCEPT FOR MATERIALS INDICATED TO BE STOCKPILED OR TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY, REMOVED FROM THE SITE, AND DISPOSED OF PROPERLY.
- ITEMS INDICATED TO BE SALVAGED SHALL BE CAREFULLY REMOVED AND DELIVERED STORED AT THE PROJECT SITE AS DIRECTED BY THE OWNER.
- ALL LANDSCAPING, PAVEMENT, CURBS AND SIDEWALKS, BEYOND THE IDENTIFIED SITE AREA, DAMAGED DURING THE CONSTRUCTION SHALL BE REPLACED TO THEIR ORIGINAL CONDITION OR BETTER.
- CONCRETE SIDEWALKS SHOWN FOR DEMOLITION SHALL BE REMOVED TO THE NEAREST EXISTING CONSTRUCTION JOINT.
- SAWCUT STRAIGHT MATCHLINES TO CREATE A BUTT JOINT BETWEEN THE EXISTING AND NEW PAVEMENT.

### UTILITIES

- ADJUST ALL INCIDENTAL STRUCTURES, MANHOLES, VALVE BOXES, CATCH BASINS, FRAMES AND COVERS, ETC. TO FINISHED GRADE.
- CONTRACTOR SHALL ADJUST ALL EXISTING AND/OR NEW FLEXIBLE UTILITIES (WATER, TV, TELEPHONE, ELEC., ETC.) TO CLEAR ANY EXISTING OR NEW GRAVITY DRAIN UTILITIES (STORM DRAIN, SANITARY SEWER, ETC.) IF CONFLICT OCCURS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES FOR THE INSTALLATION OF OR ADJUSTMENT TO GAS, ELECTRICAL, POWER AND TELEPHONE SERVICE.
- BEFORE BACKFILLING ANY SUBGRADE UTILITY IMPROVEMENTS CONTRACTOR SHALL SURVEY AND RECORD MEASUREMENTS OF EXACT LOCATION AND DEPTH AND SUBMIT TO ENGINEER AND OWNER.

### STORM AND SANITARY

- CONNECTIONS TO EXISTING STORM AND SANITARY SEWERS SHALL CONFORM TO THE 2018 OREGON STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 00490, "WORK ON EXISTING SEWERS AND STRUCTURES".
- BEGIN LAYING STORM DRAIN AND SANITARY SEWER PIPE AT THE LOW POINT OF THE SYSTEM, TRUE TO GRADE AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERT. THE CONTRACTOR SHALL ESTABLISH LINE AND GRADE FOR THE STORM AND SANITARY SEWER PIPE USING A LASER.
- ALL ROOF DRAIN AND CATCH BASIN LEADERS SHALL HAVE A MINIMUM SLOPE OF 2 PERCENT UNLESS NOTED OTHERWISE IN THE PLANS.

### EARTHWORKS

- CONTRACTOR SHALL PREVENT SEDIMENTS AND SEDIMENT LADEN WATER FROM ENTERING THE STORM DRAINAGE SYSTEM.
- TRENCH BEDDING AND BACKFILL SHALL BE AS SHOWN ON THE PIPE BEDDING AND BACKFILL DETAIL, THE PROJECT SPECIFICATIONS AND AS REQUIRED IN THE SOILS REPORT. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER WILL NOT BE PERMITTED.
- SUBGRADE AND TRENCH BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698. FLOODING OR JETTING THE BACKFILLED TRENCHES WITH WATER IS NOT PERMITTED.

### PAVING

- SEE ARCHITECTURAL PLANS FOR SIDEWALK FINISHING AND SCORING PATTERNS.

## MATERIAL NOTES

- GENERAL: MATERIALS SHALL BE NEW. THE USE OF MANUFACTURER'S NAMES, MODELS, AND NUMBERS IS INTENDED TO ESTABLISH STYLE, QUALITY, APPEARANCE, AND USEFULNESS. PROPOSED SUBSTITUTIONS WILL REQUIRE WRITTEN APPROVAL FROM THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
- STORM AND SANITARY SEWER PIPING SHALL BE PVC PIPE CONFORMING TO THE PROJECT SPECIFICATIONS; AS INDICATED IN THE PLANS. PIPES WITH LESS THAN 2' OF COVER SHALL BE C900/C905 PVC, HDPE OR DUCTILE IRON PIPE.
- CONCRETE FOR CURBS, SIDEWALK AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS.

## SEPARATION STATEMENT

ALL WATER MAIN CROSSINGS SHALL CONFORM TO THE OREGON STATE HEALTH DEPARTMENT, CHAPTER 333. WATER MAINS SHALL CROSS OVER SANITARY SEWERS WITH A 18" MINIMUM CLEARANCE BETWEEN OUTSIDE DIAMETERS OF PIPE WITH ALL PIPE JOINTS EQUIDISTANT FROM CROSSING. HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS IN PARALLEL INSTALLATIONS SHALL BE 10'. MAINTAIN 12" MINIMUM VERTICAL DISTANCE FOR ALL OTHER UTILITY CROSSINGS AND 12" HORIZONTAL PARALLEL DISTANCE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN THE MINIMUM 10' HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LAID ON A SEPARATE SHELF IN THE TRENCH 18" INCHES ABOVE THE SEWER.



ISSUE DATE



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ADDITION & REMODEL FOR:

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WILSONVILLE, OREGON

GENERAL NOTES

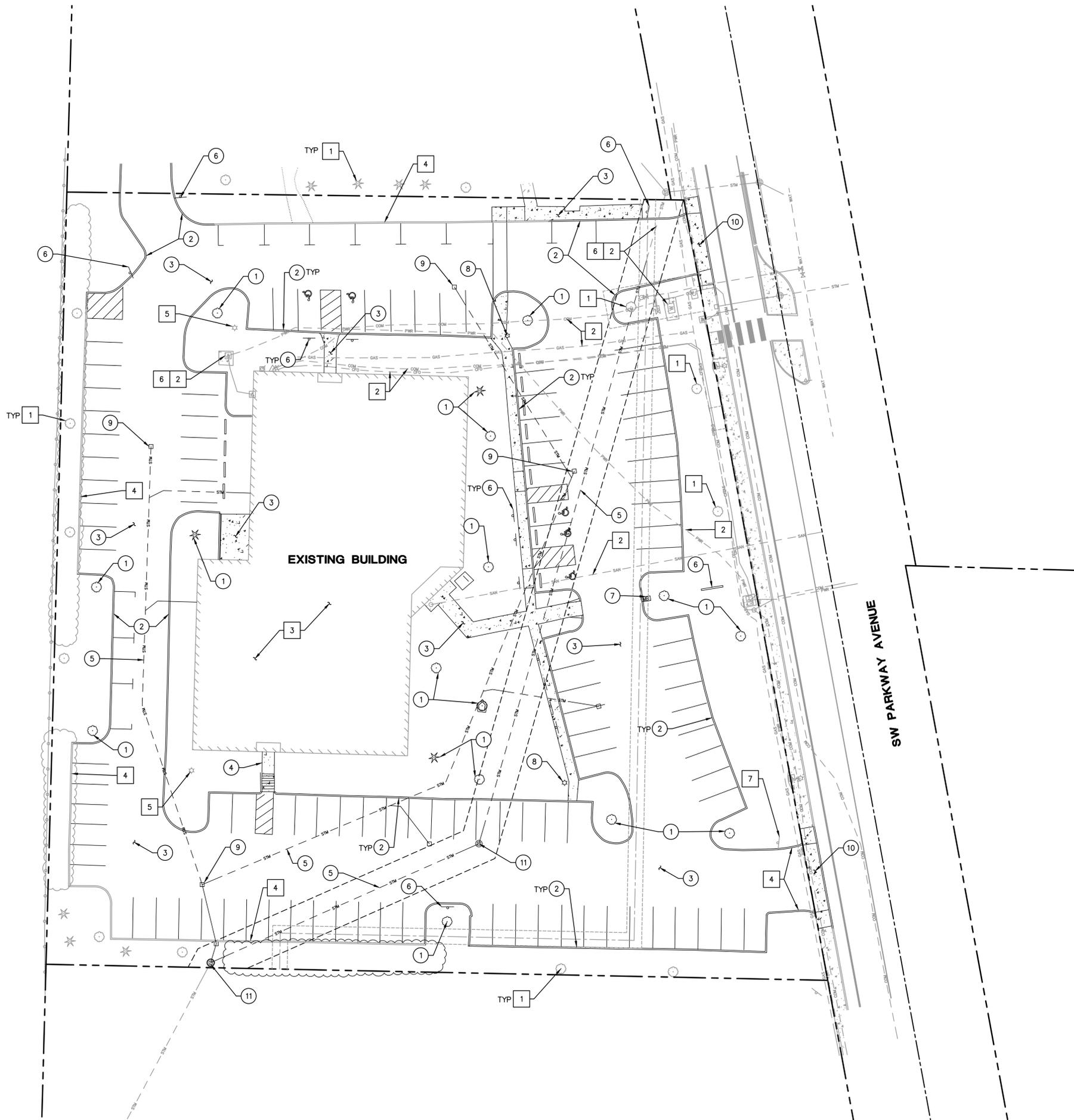
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INTERSTATE 5



**SHEET NOTES**

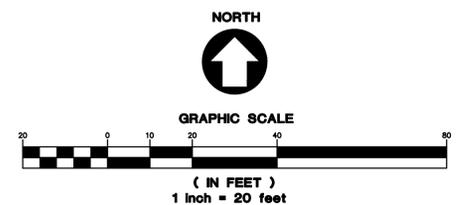
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. CONTRACTOR MAY STAGE WITHIN LIMITS OF DEMOLITION.
3. REMOVE ALL SITE COMPONENTS AND RECYCLE COMPONENTS AS REQUIRED IN THE SPECIFICATIONS.
4. ALL TRADE LICENSES AND PERMITS NECESSARY FOR THE PROCUREMENT AND COMPLETION OF THE WORK SHALL BE SECURED BY THE CONTRACTOR PRIOR TO COMMENCING DEMOLITION.
5. THE CONTRACTOR SHALL PRESERVE AND PROTECT FROM DAMAGE ALL EXISTING RIGHT-OF-WAY SURVEY MONUMENTATION DURING DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR THE REPLACEMENT BY A LICENSED SURVEYOR OF ANY DAMAGED OR REMOVED MONUMENTS.
6. PROTECT ALL ITEMS ON ADJACENT PROPERTIES AND IN THE RIGHT OF WAY INCLUDING BUT NOT LIMITED TO SIGNAL EQUIPMENT, PARKING METERS, SIDEWALKS, STREET TREES, STREET LIGHTS, CURBS, PAVEMENT AND SIGNS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ANY DAMAGED ITEMS TO ORIGINAL CONDITION.
7. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGES CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.
8. SAWCUT STRAIGHT LINES IN SIDEWALK, AS NECESSARY.
9. CONTRACTOR IS RESPONSIBLE TO CONTROL DUST AND MUD DURING THE DEMOLITION PERIOD, AND DURING TRANSPORTATION OF DEMOLITION DEBRIS. ALL STREET SURFACES OUTSIDE THE CONSTRUCTION ZONE MUST BE KEPT CLEAN.
10. PROTECT ALL EXISTING UTILITY STRUCTURES AND UNDERGROUND MAINS TO REMAIN.
11. PROTECT ALL EXISTING VEGETATION TO REMAIN.

**X PROTECTION NOTES**

- 1 PROTECT EXISTING TREE
- 2 PROTECT EXISTING UTILITY
- 3 PROTECT EXISTING STRUCTURE
- 4 PROTECT EXISTING CURB. CONTRACTOR TO REVIEW EXISTING CURB CONDITIONS WITH THE OWNER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY LOCATIONS SHALL BE REPLACED.
- 5 PROTECT EXISTING POLE
- 6 PROTECT EXISTING SURFACE
- 7 PROTECT EXISTING SIGN

**X DEMOLITION NOTES**

- 1 REMOVE TREE
- 2 REMOVE CURB
- 3 REMOVE SURFACE
- 4 REMOVE STAIRS
- 5 REMOVE STORM LINE
- 6 REMOVE SIGN
- 7 REMOVE MAILBOX
- 8 REMOVE POLE
- 9 REMOVE CATCH BASIN
- 10 REMOVE DRIVEWAY
- 11 REMOVE STORM MANHOLE



ISSUE DATE	



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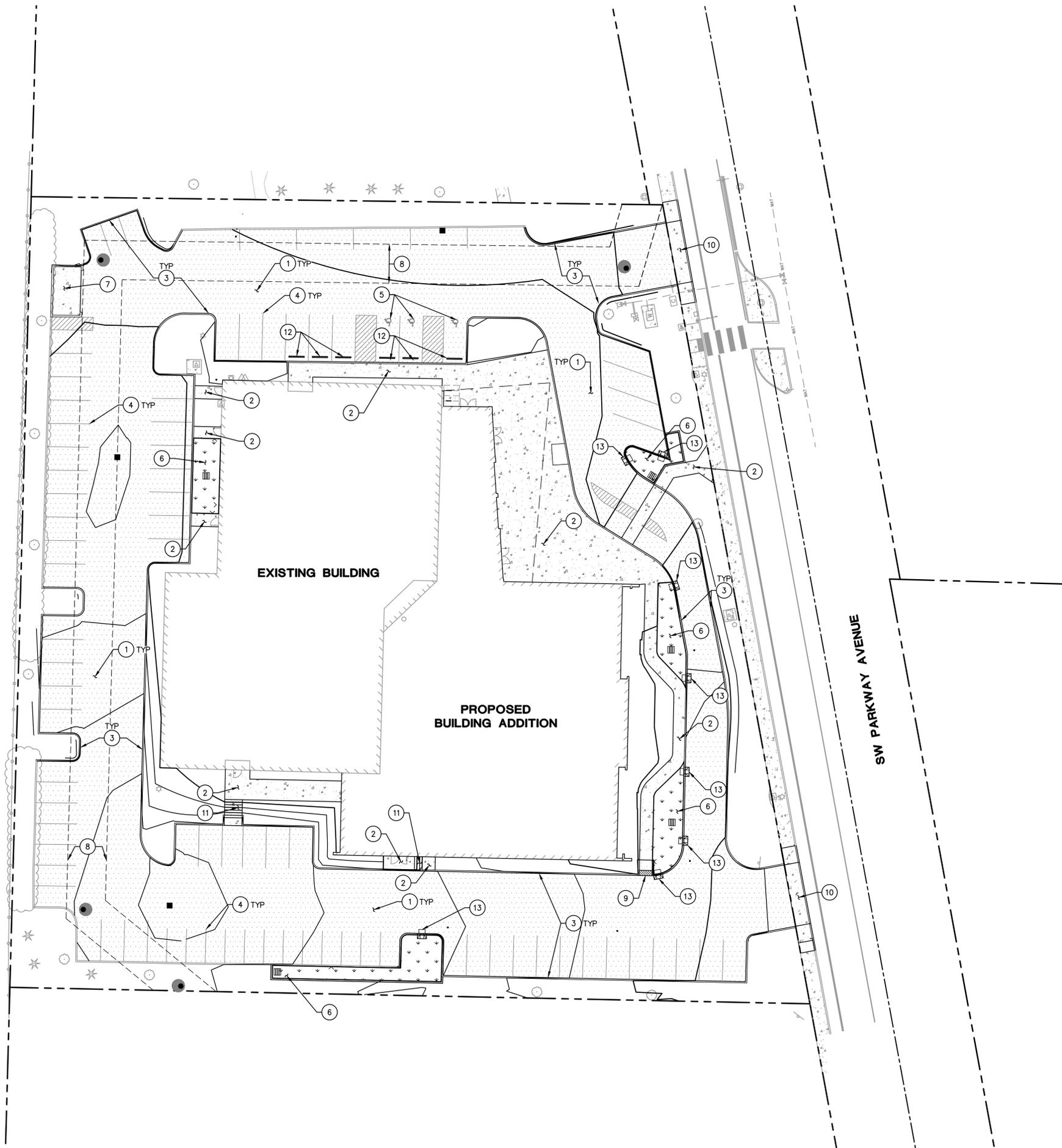
DEMOLITION PLAN

C0.3

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INTERSTATE 5



**SHEET NOTES**

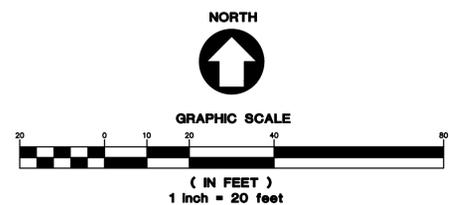
1. SEE SHEET C0.1 FOR GENERAL SHEET NOTES.
2. SEE ARCHITECTURAL PLANS FOR ADDITIONAL SITE INFORMATION.
3. THE CONTRACTOR SHALL HAVE A FULL SET OF THE CURRENT APPROVED CONSTRUCTION DOCUMENTS INCLUDING ADDENDA ON THE PROJECT SITE AT ALL TIMES.
4. THE CONTRACTOR SHALL KEEP THE ENGINEER AND JURISDICTION INFORMED OF CONSTRUCTION PROGRESS TO FACILITATE SITE OBSERVATIONS AT REQUIRED INTERVALS. 24-HOUR NOTICE IS REQUIRED.

**(X) CONSTRUCTION NOTES**

- 1 ASPHALT SURFACE PER DETAIL 1/C4.0
- 2 PRIVATE SIDEWALK PER DETAIL 2/C4.0
- 3 PRIVATE CURB PER DETAIL 3/C4.0
- 4 PARKING STRIPING, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 5 ADA PARKING LAYOUT, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 6 STORMWATER FACILITY, SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 7 TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 8 PROPOSED STORM EASEMENT, SEE SHEET C3.0 FOR ADDITIONAL INFORMATION
- 9 ADA RAMP PER DETAIL 4/C4.0
- 10 DRIVEWAY PER CITY OF WILSONVILLE DETAIL 1095/C4.0
- 11 CONCRETE STAIRS, SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION
- 12 INSTALL WHEEL STOPS PER DETAIL 5/C4.0
- 13 INSTALL CONCRETE FACILITY INLET PER CITY OF WILSONVILLE DETAIL 6012/C4.0

**LEGEND**

PROPERTY LINE	---
PROPOSED CURB	====
CONCRETE SIDEWALK SURFACING	[Pattern]
ASPHALT SURFACING	[Pattern]



ISSUE DATE	



ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
 27501 SW PARKWAY AVE.  
 WILSONVILLE, OREGON

SITE PLAN  
**C1.0**  
 170288.03  
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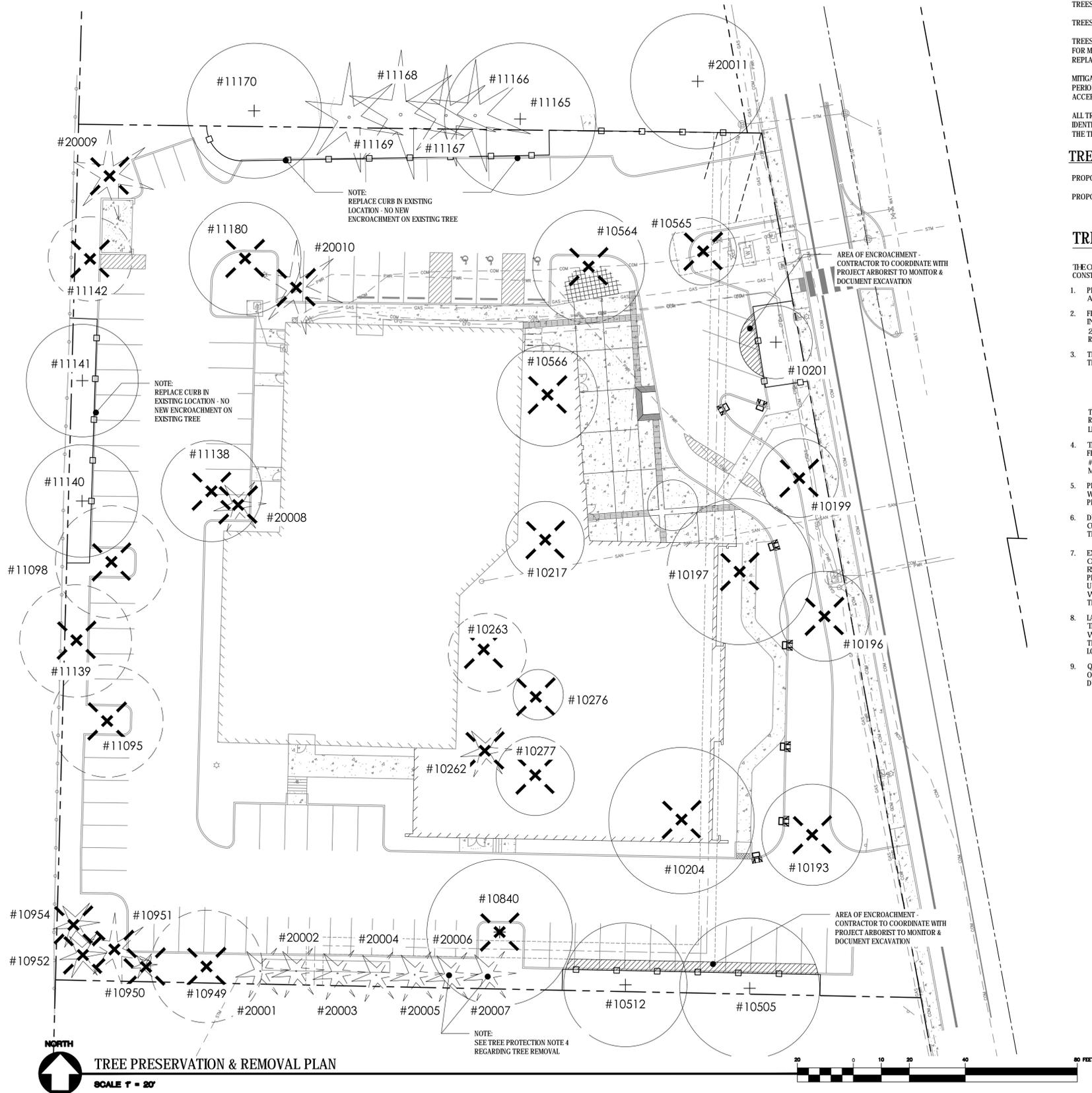








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**TREE PRESERVATION & REMOVAL PLAN**

SCALE 1" = 20'

NOTE: SEE TREE PROTECTION NOTE 4 REGARDING TREE REMOVAL



**TREE SUMMARY**

TREES EXISTING = 41  
 TREES TO BE REMOVED = 35  
 TREES TO REMAIN = 5  
 TREES PROPOSED FOR MITIGATION REPLACEMENT TREES = 35 SEE L1.1 FOR  
 MITIGATION TREES SHALL BE GUARANTEED FOR A PERIOD OF TWO (2) YEARS FROM DATE OF FINAL ACCEPTANCE. SEE SPECS.

ALL TREES EXISTING TO REMAIN WILL BE IDENTIFIED BY NUMBERED METAL TAGS MATCHING THE TREE PROTECTION & REMOVAL PLAN

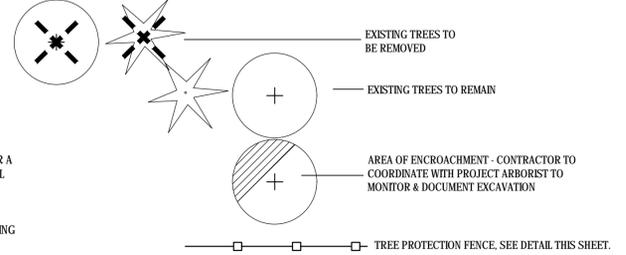
**TREE REPLACEMENT COST ESTIMATE**

PROPOSED 2" CAL. DECIDUOUS TREES = 31 @ \$ 600.00 = \$18,600.00  
 PROPOSED 6" 0' EVERGREEN TREES = 4 @ \$ 400.00 = \$1,600.00

**TREE PROTECTION NOTES:**

- THE ON SITE TREES PLANNED FOR RETENTION AND OFF SITE TREES ADJACENT TO THE PROJECT SITE WILL NEED SPECIAL CONSIDERATION TO ASSURE THEIR PROTECTION DURING CONSTRUCTION. TREE PROTECTION MEASURES INCLUDE:
- PRECONSTRUCTION CONFERENCE. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT ARBORIST IN A TIMELY MANNER TO REVIEW TREE PROTECTION MEASURES AND ADDRESS QUESTIONS ON SITE PRIOR TO THE START OF CONSTRUCTION ACTIVITY.
  - FENCING. TREES TO REMAIN ON SITE SHALL BE PROTECTED BY INSTALLATION OF TREE PROTECTION FENCING AS DEPICTED ON THE TREE PRESERVATION AND REMOVAL PLAN IN ORDER TO PREVENT INJURY TO TREE TRUNKS OR ROOTS, OR SOIL COMPACTION WITHIN THE ROOT PROTECTION AREA. FENCES SHALL BE A MINIMUM 6 FOOT HIGH 2 INCH CHAIN LINK MESH SECURED TO A MINIMUM 1.5 INCH STEEL OR ALUMINUM POSTS SET ON CONCRETE BLOCKS OR DRIVEN INTO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH A QUALIFIED ARBORIST PRIOR TO OPENING, ADJUSTING, OR REMOVING TREE PROTECTION FENCING.
  - TREE PROTECTION ZONE. WITHOUT AUTHORIZATION FROM THE PROJECT ARBORIST, NONE OF THE FOLLOWING SHALL OCCUR BENEATH THE DRIPLINE OF ANY PROTECTED TREE:
    - GRADE CHANGE OR CUT AND FILL;
    - NEW IMPERVIOUS SURFACES;
    - UTILITY OR DRAINAGE FIELD PLACEMENT;
    - STAGING OR STORAGE OF MATERIALS AND EQUIPMENT, OR E) VEHICLE MANEUVERING.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROJECT ARBORIST IN A TIMELY MANNER PRIOR TO WORKING BENEATH PROTECTED TREE DRIPLINES. ROOT PROTECTION ZONES MAY BE ENTERED FOR TASKS LIKE SURVEYING, MEASURING, AND, SAMPLING. FENCES MUST BE CLOSED UPON COMPLETION OF THESE TASKS.
  - TREES TO BE REMOVED SHALL BE CLEARLY IDENTIFIED WITH TREE MARKING PAINT OR OTHER METHODS APPROVED IN ADVANCE BY THE PROJECT ARBORIST. THE STUMPS FROM TREES #20006 AND #20007 SHALL EITHER REMAIN IN PLACE, BE REMOVED BY STUMP GRINDING, OR EXTRACTED FROM THE GROUND UNDER ARBORIST SUPERVISION, IN ORDER TO HELP MINIMIZE IMPACTS TO THE LIKELY INTERCONNECTED ROOTS OF PROTECTED TREE #10840.
  - PRUNING MAY BE NEEDED TO PROVIDE OVERHEAD CLEARANCE AND TO REMOVE DEAD AND DEFECTIVE BRANCHES FOR SAFETY. THE PROJECT ARBORIST CAN HELP IDENTIFY WHERE PRUNING IS NECESSARY ONCE TREES RECOMMENDED FOR REMOVAL HAVE BEEN REMOVED AND THE SITE IS PREPARED FOR CONSTRUCTION. TREE REMOVAL AND PRUNING SHALL BE PERFORMED BY A QUALIFIED TREE SERVICE.
  - DEMOLITION. IF ROOTS OF PROTECTED TREES MEASURING 1 INCH OR LARGER IN DIAMETER ARE REVEALED DURING THE DEMOLITION OF EXISTING INFRASTRUCTURE, THE CONTRACTOR SHALL COORDINATE WITH A QUALIFIED ARBORIST WITHIN 24 HOURS OF EXPOSING ROOTS. THE ARBORIST SHALL ASSESS THE EXPOSED ROOTS AND PROVIDE ON THE GROUND RECOMMENDATIONS AND DOCUMENT ALLOWED ROOT PRUNING OR ROOT PROTECTION MEASURES.
  - EXCAVATION. EXCAVATION WITHIN THE ALLOWED ENCROACHMENT AREAS IDENTIFIED ON THE TREE PRESERVATION AND REMOVAL PLAN SHALL BE CONDUCTED UNDER THE ON SITE SUPERVISION OF A QUALIFIED ARBORIST. EXCAVATION IMMEDIATELY ADJACENT TO ROOTS LARGER THAN 2 INCHES IN DIAMETER BENEATH THE DRIPLINE OF RETAINED TREES SHALL BE BY HAND OR OTHER NON INVASIVE TECHNIQUES TO ENSURE THAT ROOTS ARE NOT DAMAGED. WHERE FEASIBLE, MAJOR ROOTS SHALL BE PROTECTED BY TUNNELING OR OTHER MEANS TO AVOID DESTRUCTION OR DAMAGE. EXCEPTIONS CAN BE MADE IF, IN THE OPINION OF THE QUALIFIED ARBORIST, UNACCEPTABLE DAMAGE WILL NOT OCCUR TO THE TREE. WHERE SOIL GRADE CHANGES AFFECT THE ROOT PROTECTION AREA, THE GRADE LINE SHOULD BE MAINTAINED WHEREVER PRACTICABLE. THIS WILL REQUIRE ON SITE COORDINATION TO ENSURE A REASONABLE BALANCE BETWEEN ENGINEERING, CONSTRUCTION, AND THE NEEDED FOR TREE PROTECTION.
  - LANDSCAPING. FOLLOWING CONSTRUCTION AND WHERE LANDSCAPING IS DESIRED, APPLY APPROXIMATELY 3 INCHES OF MULCH BENEATH THE DRIPLINE OF PROTECTED TREES IN A MINIMUM 5 FOOT RADIUS AROUND TREE TRUNKS. DO NOT PILE MULCH DIRECTLY AGAINST TREE TRUNKS. SHRUBS AND GROUND COVER PLANTS MAY BE PLANTED WITHIN THE GRASS FREE MULCH RINGS. IF IRRIGATION IS USED, USE DRIP IRRIGATION OR LOW FLOW EMITTERS INSTALLED AT NATIVE GRADE (NO TRENCHING) ONLY BENEATH THE DRIPLINES OF PROTECTED TREES. LANDSCAPING SHALL BE PERFORMED BY HAND AND WITH HAND TOOLS ONLY BENEATH PROTECTED TREE DRIPLINES; ADJUST THE LOCATION OF PLANTS TO AVOID TREE ROOT IMPACTS.
  - QUALITY ASSURANCE. A QUALIFIED ARBORIST SHOULD SUPERVISE PROPER EXECUTION OF THIS PLAN ON CALL DURING CONSTRUCTION ACTIVITIES THAT COULD ENCROACH ON RETAINED TREES. TREE PROTECTION SITE INSPECTION MONITORING REPORTS SHOULD BE PROVIDED TO THE CLIENT AND CITY FOLLOWING EACH SITE VISIT PERFORMED DURING CONSTRUCTION.

**LEGEND**



This Detail Drawing may not be altered or changed in any manner except by the City Engineer. It is the responsibility of the user to acquire the most current version.

NOTES:  
 1. FENCE SHALL BE 6' IN HEIGHT AND SET AT TREE DRIP LINE.  
 2. FENCE MATERIALS SHALL CONSIST OF 2" MESH CHAIN LINKS SECURED TO A MINIMUM 1 1/2" DIA. STEEL OR ALUMINUM LINE POSTS.  
 3. POSTS SHALL BE SET TO A DEPTH OF NO LESS THAN 2 FEET IN NATIVE SOIL.  
 4. FENCE SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION ACTIVITIES. MOVEMENT OR REMOVAL OF FENCE REQUIRES APPROVAL BY CITY'S AUTHORIZED REPRESENTATIVE.

Tree Protection Fencing		CITY OF WILSONVILLE PUBLIC WORKS STANDARDS
DRAWING NUMBER: R-1155	APPROVED BY: MAS	
DATE: 11/01/03	DATE: 11/01/03	

ISSUE DATE	8/10/18
DESIGN REVIEW SUBMITTAL	
1	

ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
 27501 SW PARKWAY AVE.  
 WILSONVILLE, OREGON

**LANDSCAPE WATER REQUIREMENTS**

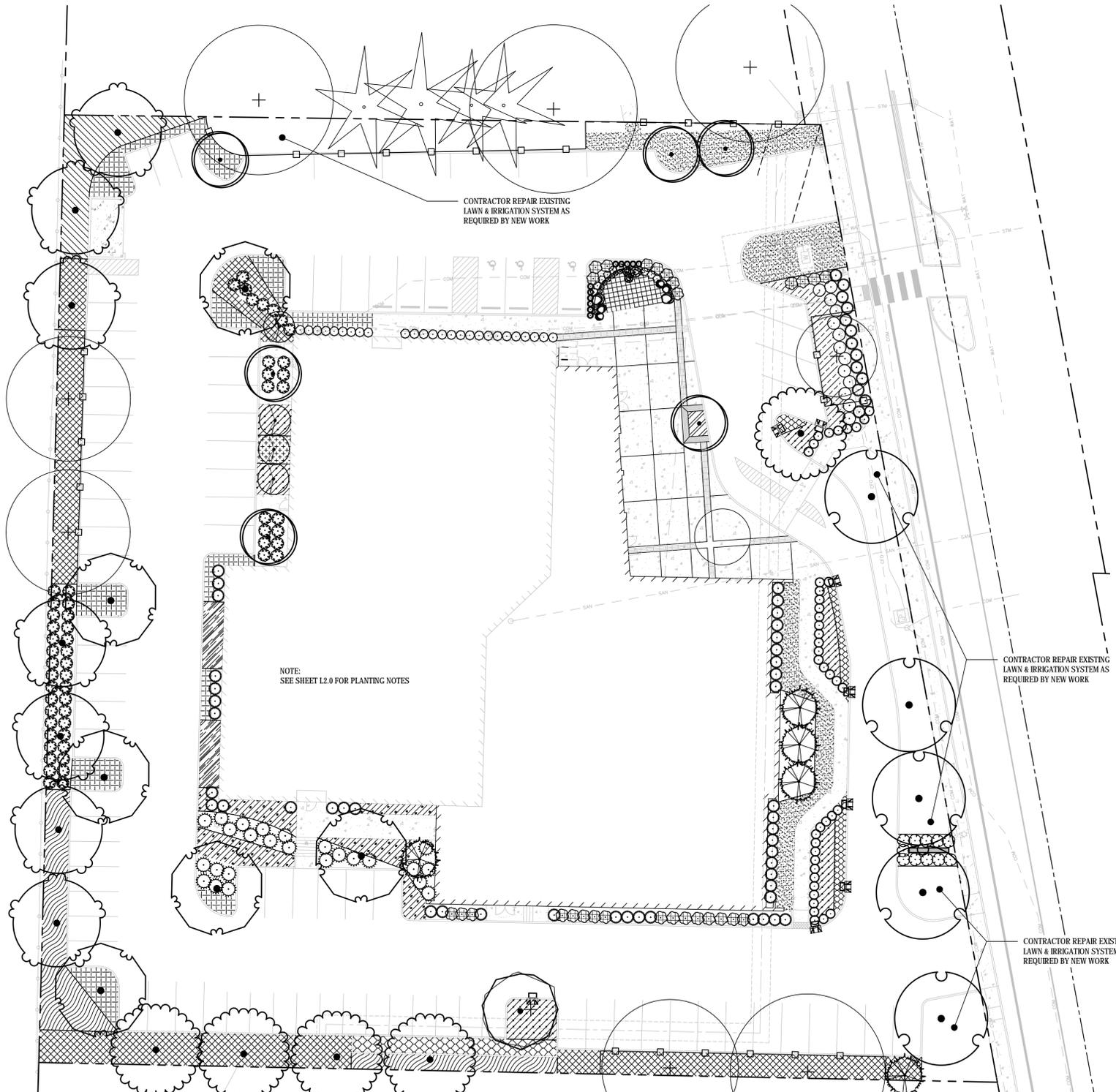
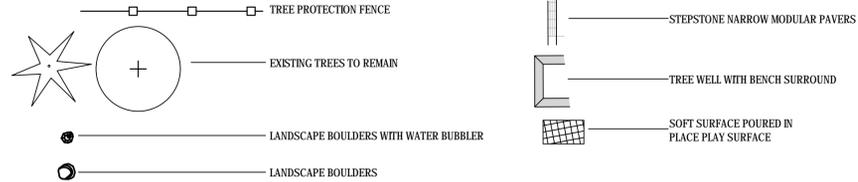
AREAS OF NEW LAWN AND EXISTING LAWN TO REMAIN ARE HIGH WATER USAGE AREAS REQUIRING 1-2 INCHES OF WATER PER WEEK.

ALL OTHER LANDSCAPE AREAS CONSIST OF SHRUBS, TREES AND GROUND COVER WHICH ARE MODERATE WATER USAGE AREAS REQUIRING APPROXIMATELY ONE (1) INCH OF WATER PER WEEK.

**LANDSCAPE REQUIREMENTS**

TOTAL SITE AREA	= 84,495 SF
LANDSCAPE AREA REQUIRED 15% OF SITE	= 12,674 SF
LANDSCAPE ARE PROPOSED 22.5% OF SITE	= 18,982 SF
PROPOSED LAWN	= 1,740 SF (9.2%)
INTERIOR PKG. LOT LANDSCAPING REQ. 10% OF PARKING AREA	= 3,473 SF
PROPOSED INTERIOR PKG. LOT LANDSCAPING 1 TREE PER 8 PKG. SPACES (87 SPACES)	= 4,757 SF (16%)
PROPOSED PKG. LOT TREES	= 11 TREES
PERIMETER SCREENING REQUIRED 10% OF PARKING AREA	= 2,938 SF
PARKING AREA = 29,378 SF (10%)	
PROPOSED PERIMETER SCREENING	= 12,276 SF (47% OF PKG. AREA)

**LEGEND**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	AF	5	ACER RUBRUM 'FRANKSRED'™	RED SUNSET MAPLE	2" CAL.
	GI	7	GLEDITSIA TRIACANTHOS INERMIS 'TRUESHADE'	THORNLESS HONEY LOCUST	2" CAL.
	MS	1	MAGNOLIA VIRGINIANA	SWEET BAY	2" CAL.
	NW	5	NYSSA SYLVATICA 'WILDFIRE'	WILDFER TUPELO	2" CAL.
	PJ	6	PARROTTIA PERSICA 'JL COLUMNAR' P.A.F.	PERSIAN SPIRE PARROTTIA	2" CAL.
	UP	6	ULMUS X 'PIONEER'	PIONEER ELM	2" CAL.
<b>EVERGREEN TREES</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
	CP	5	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	WEEPING NOOTKA FALSE CYPRESS	6" HT.
<b>SHRUBS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
	AC	4	ACER CIRCINATUM	VINE MAPLE	10 GAL.
	CB	28	CISTUS X CYPRIUS	BICOLOR ROCK ROSE	2 GAL.
	CK2	41	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	2 GAL.
	JS	25	JUNIPERUS CHINENSIS 'SAN JOSE'	SAN JOSE JUNIPER	2 GAL.
	LM	11	LONICERA PILEATA 'MOSS GREEN'	MOSS GREEN HONEYSUCKLE	1 GAL.
	MD	56	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	2 GAL.
	SR	26	SARCOCOCCA RUSCIFOLIA	FRAGRANT SARCOCOCCA	2 GAL.
	VO	13	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	2 GAL.
<b>ANNUALS/PERENNIALS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
	CZ	9	COREOPSIS VERTICILLATA 'ZAGREB'	ZAGREB THREAD LEAF COREOPSIS	1 GAL.
<b>GRASSES</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b>
	CK	11	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL.
	MP	57	MISCANTHUS SINENSIS 'PURPURESCENS'	FLAME GRASS	1 GAL.
	PH	9	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN DWARF FOUNTAIN GRASS	1 GAL.
<b>GROUND COVERS</b>	<b>CODE</b>	<b>QTY</b>	<b>BOTANICAL NAME</b>	<b>COMMON NAME</b>	<b>SIZE</b> <b>SPACING</b>
	AU	176	ARCTOSTAPHYLOS UVA-URSI	KINNICKINICK	1 GAL.    24" o.c.
	CD3	2,362	CAREX Densa	DENSE SEDGE	4" POT    6" o.c.
	CR2	394	CAREX RUPESTRIS	CURLY SEDGE	4" POT    6" o.c.
	FS	357	FRAGARIA X 'LIPSTICK'	FALSE STRAWBERRY	4" POT    24" o.c.
	GS	290	GAULTHERIA SHALLON	SALAL	4" POT    24" o.c.
	JP2	2,982	JUNCUS PATENS	CALIFORNIA GRAY RUSH	4" POT    6" o.c.
	LM2	47	LIRIOPE MUSCARI 'MONROE WHITE'	MONROE WHITE LIRIOPE	1 GAL.    12" o.c.
	MO	72	MAHONIA AQUIFOLIUM 'ORANGE FLAME'	OREGON GRAPE	1 GAL.    24" o.c.
	MN	800	MAHONIA NERVOSA	OREGON GRAPE	4" POT    24" o.c.
	R3	84	ROSA X 'NOALA'	FLOWER CARPET CORAL GROUNDCOVER ROSE	1 GAL.    36" o.c.
	RE	82	RUBUS CALYCINOIDES 'EMERALD CARPET'	EMERALD CARPET CREEPING RASPBERRY	4" POT    24" o.c.
		1,740 SF	LAWN, SEE SPECS		

**PRELIMINARY PLANTING PLAN**  
SCALE 1" = 20'



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REGISTERED  
552  
Teresa Katherine Long  
OREGON  
5-14-04  
LANDSCAPE ARCHITECT

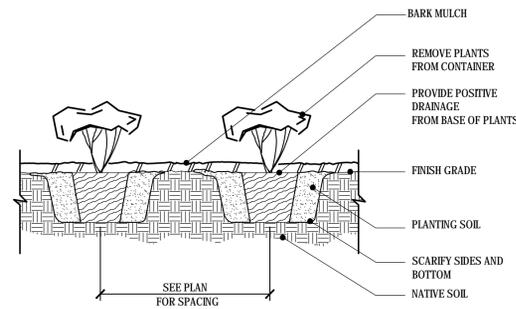
ISSUE DATE	8/10/18
1 DESIGN REVIEW SUBMITTAL	

**AAI** ALPHA ASSOCIATES, INC.  
**ENGINEERING**  
4875 SW Griffin Drive, Suite 300 | Beaverton, OR 97005  
503.620.3020 ext. 101.620.6399 fax 1.503.620.3020  
Project No. A18105-10

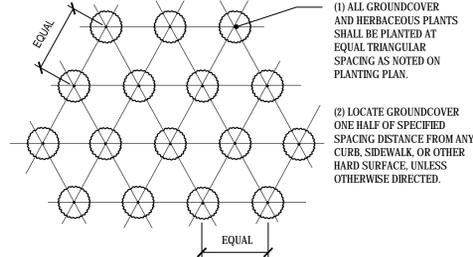
**CIDA**  
ARCHITECTURE  
ENGINEERING  
PLANNING  
INTERIORS  
15895 SW 72ND AVE SUITE 200  
PORTLAND, OREGON 97224  
TEL: 503.226.1285  
FAX: 503.226.1670  
WWW.CIDAINC.COM

ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
**27501 SW PARKWAY AVE.**  
**WILSONVILLE, OREGON**

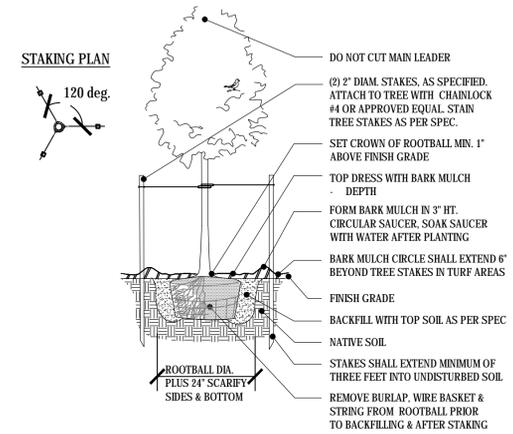
PLANTING PLAN  
**L1.1**  
170288.03  
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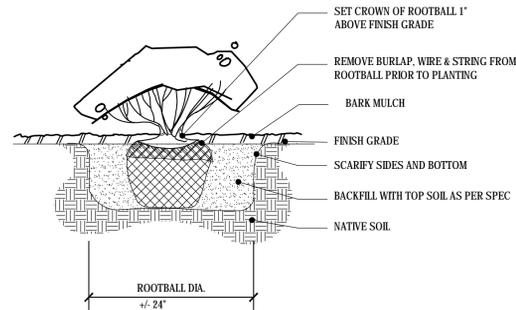
**1** GROUNDCOVER & HERBACEOUS PLANT PLANTING DETAIL  
L2.0 SCALE: NTS



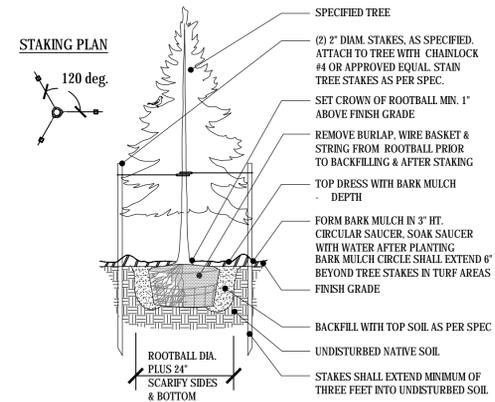
**2** GROUNDCOVER & HERBACEOUS PLANT PLANTING PLAN  
L2.0 SCALE: NTS



**3** DECIDUOUS TREE PLANTING DETAIL  
L2.0 SCALE: NTS



**4** SHRUB PLANTING  
L2.0 SCALE: NTS

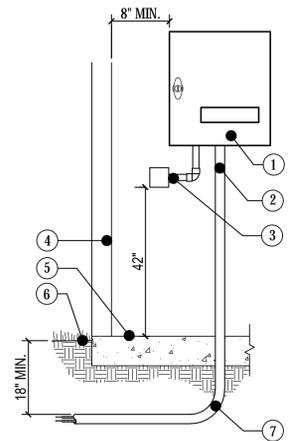


**5** CONIFER TREE PLANTING DETAIL  
L2.0 SCALE: NTS

**PLANTING NOTES**

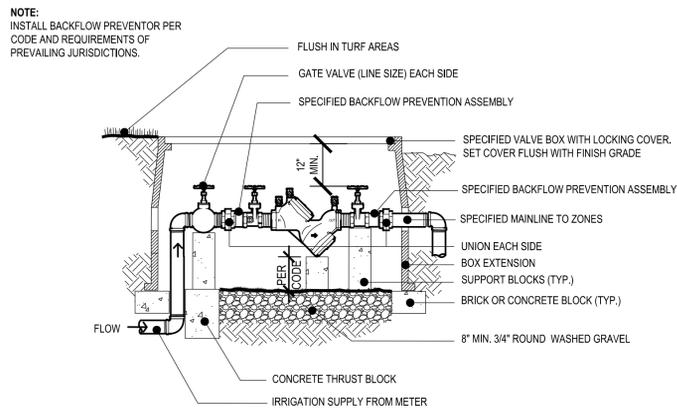
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF WILSONVILLE STANDARDS AND THE OREGON STRUCTURAL SPECIALTY CODE.
2. VERIFY ALL EXISTING CONDITIONS, INCLUDING LOCATION OF PROPERTY LINES, PRIOR TO BEGINNING ANY WORK. REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
3. DO NOT FULLY PROCEED WITH CONSTRUCTION WHEN UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF UNKNOWN OBSTRUCTIONS AND/OR DIFFERENCES. PRIOR TO REMOVING ANY EXISTING FEATURES, REVIEW AND CONFIRM EXTENT OF DEMOLITION WITH OWNER'S REPRESENTATIVE.
4. PROTECT EXISTING ITEMS TO REMAIN DURING CONSTRUCTION. ANY DAMAGE TO EXISTING ITEMS DESIGNATED TO REMAIN I.E. CURBS, WALKS, PLANT MATERIAL, LAWN OR FENCES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
5. VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, LINES, PIPES, VAULTS, OR BOXES PRIOR TO EXCAVATION. MARK AND PROTECT ALL UTILITIES, SITE FEATURES AND VEGETATION TO REMAIN IN PLACE. ANY DAMAGE TO ANY KNOWN EXISTING UTILITY ELEMENTS SHALL BE REPAIRED PROPERLY AND IMMEDIATELY.
6. REMOVE FROM THE SITE AND LEGALLY DISPOSE OF ALL DEBRIS AND EXCAVATED MATERIAL NOT REQUIRED FOR FILL. NO RUBBISH OR DEBRIS SHALL BE BURIED ON THE SITE.
7. MAINTAIN ALL ROADWAYS AND PAVED PATHWAYS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS, PROVIDING NECESSARY DUST CONTROL WHERE REQUIRED.
8. COORDINATE AND SCHEDULE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
9. INSTALL EROSION CONTROL SYSTEMS IN ACCORDANCE WITH CITY OF WILSONVILLE STANDARDS PRIOR TO SITE WORK AND LANDSCAPE INSTALLATION.
10. CONTRACTOR SHALL PROVIDE TOPSOIL, SOIL AMENDMENTS, AND EROSION CONTROL AS PER THE SPECIFICATIONS.
11. CONTRACTOR SHALL SUBMIT CERTIFIED TOPSOIL ANALYSIS REPORT FOR OWNER'S APPROVAL PRIOR TO PLANT INSTALLATION.
12. CONTRACTOR IS RESPONSIBLE FOR ANY AMENDMENTS TO SOIL PH FERTILITY AND/OR DRAINAGE CONDITIONS NECESSARY TO ENSURE PROPER GROWING CONDITIONS FOR PROPOSED PLANTINGS.
13. CONTRACTOR SHALL FOLLOW PROVIDER'S INSTRUCTIONS AND RECOMMENDATIONS FOR SEEDING.
14. ALL PLANTS SHALL BE INSTALLED ACCORDING TO AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) AS WELL AS DETAIL DRAWINGS AND SPECIFICATIONS.
15. ALL PLANTS SHALL BE IRRIGATED BY A FULLY AUTOMATED, PERMANENT IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. SEE SPECIFICATIONS FOR DESIGN BUILD REQUIREMENTS.
16. CONTRACTOR SHALL INSTALL RAIN SENSORS AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. VERIFY THE LOCATION WITH THE OWNER PRIOR TO INSTALLATION.
17. CONTRACTOR SHALL DESIGN THE IRRIGATION SYSTEM AND PROVIDE OWNER WITH SHOP DRAWINGS FOR APPROVAL. SEE SPECS.
18. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT PLANS OF THE INSTALLATION, COPIES OF ALL OPERATION MANUALS AND WARRANTY DOCUMENTS.
19. ALL NEW PLANTS IN LANDSCAPE AREAS SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. ALL TREES SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE.

ISSUE DATE	8/10/18
DESIGN REVIEW SUBMITTAL	
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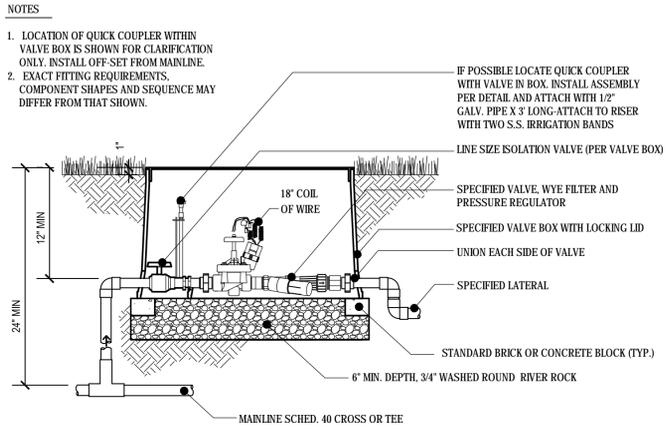
- LEGEND**
- ① AUTOMATIC CONTROLLER WITH LOCKING ACCESS DOOR.
  - ② 2" DIA. P.V.C. CONDUIT FOR COMMON AND CONTROL WIRES TO 5' BEYOND EDGE OF BUILDING.
  - ③ CONDUIT FOR 120 VOLT ELECTRICAL SERVICE WITH JUNCTION BOX.
  - ④ BUILDING WALL.
  - ⑤ BUILDING FLOOR.
  - ⑥ FINISH GRADE.
  - ⑦ SWEEP EL ON ALL ELECTRICAL CONDUIT.
- NOTES**
- 1 ALL WIRES TO BE INSTALLED AS PER LOCAL CODE.
  - 2 VERIFY LOCATION PRIOR TO INSTALLATION.
  - 3 INSTALL CONTROLLER PER MANUFACTURER'S INSTRUCTIONS.

**1 WALL MOUNTED CONTROLLER**  
## SCALE: NTS



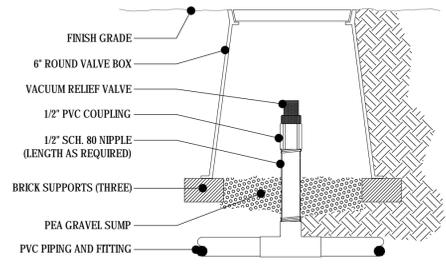
- NOTE:** INSTALL BACKFLOW PREVENTOR PER CODE AND REQUIREMENTS OF PREVAILING JURISDICTIONS.
- FLUSH IN TURF AREAS
  - GATE VALVE (LINE SIZE) EACH SIDE
  - SPECIFIED BACKFLOW PREVENTION ASSEMBLY
  - SPECIFIED VALVE BOX WITH LOCKING COVER, SET COVER FLUSH WITH FINISH GRADE
  - SPECIFIED BACKFLOW PREVENTION ASSEMBLY
  - SPECIFIED MAINLINE TO ZONES
  - UNION EACH SIDE
  - BOX EXTENSION
  - SUPPORT BLOCKS (TYP.)
  - BRICK OR CONCRETE BLOCK (TYP.)
  - 8" MIN. 3/4" ROUND WASHED GRAVEL
  - CONCRETE THRUST BLOCK
  - IRRIGATION SUPPLY FROM METER

**2 BACKFLOW PREVENTION DEVICE ASSEMBLY**  
## SCALE: NTS



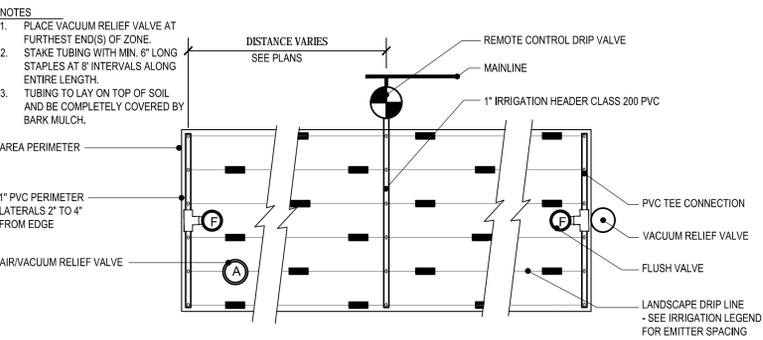
- NOTES**
- 1. LOCATION OF QUICK COUPLER WITHIN VALVE BOX IS SHOWN FOR CLARIFICATION ONLY. INSTALL OFF-SET FROM MAINLINE.
  - 2. EXACT FITTING REQUIREMENTS, COMPONENT SHAPES AND SEQUENCE MAY DIFFER FROM THAT SHOWN.
- IF POSSIBLE LOCATE QUICK COUPLER WITH VALVE IN BOX. INSTALL ASSEMBLY PER DETAIL AND ATTACH WITH 1/2" GALV. PIPE X 3' LONG-ATTACH TO RISER WITH TWO S.S. IRRIGATION BANDS
  - LINE SIZE ISOLATION VALVE (PER VALVE BOX)
  - SPECIFIED VALVE, WYE FILTER AND PRESSURE REGULATOR
  - SPECIFIED VALVE BOX WITH LOCKING LID
  - UNION EACH SIDE OF VALVE
  - SPECIFIED LATERAL
  - STANDARD BRICK OR CONCRETE BLOCK (TYP.)
  - 6" MIN. DEPTH, 3/4" WASHED ROUND RIVER ROCK
  - MAINLINE SCHED. 40 CROSS OR TEE

**3 DRIP IR CONTROL VALVE ASSEMBLY**  
## SCALE: NTS



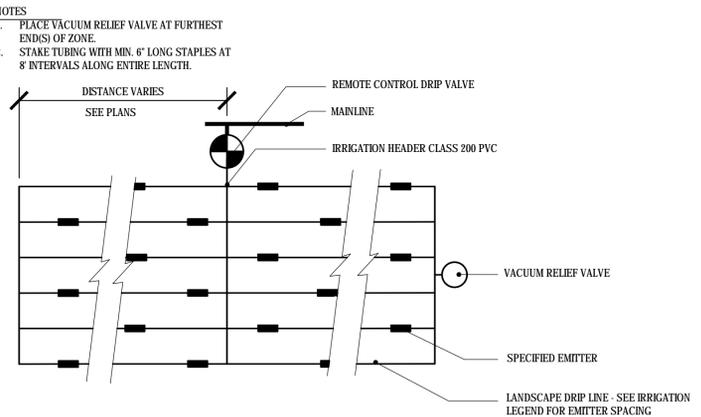
- FINISH GRADE
- 6" ROUND VALVE BOX
- VACUUM RELIEF VALVE
- 1/2" PVC COUPLING
- 1/2" SCH. 80 NIPPLE (LENGTH AS REQUIRED)
- BRICK SUPPORTS (THREE)
- PEA GRAVEL SUMP
- PVC PIPING AND FITTING

**4 VACUUM RELIEF VALVE**  
## SCALE: NTS



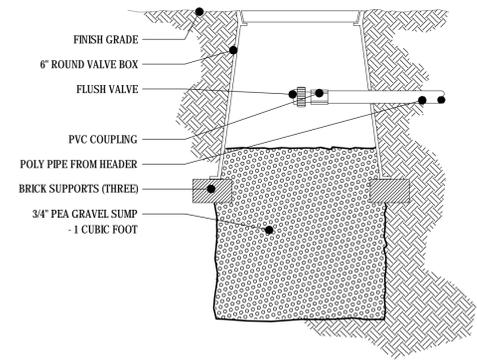
- NOTES**
- 1. PLACE VACUUM RELIEF VALVE AT FURTHEST END(S) OF ZONE.
  - 2. STAKE TUBING WITH MIN. 6" LONG STAPLES AT 8' INTERVALS ALONG ENTIRE LENGTH.
  - 3. TUBING TO LAY ON TOP OF SOIL AND BE COMPLETELY COVERED BY BARK MULCH.
- DISTANCE VARIES SEE PLANS
  - REMOTE CONTROL DRIP VALVE
  - MAINLINE
  - 1" IRRIGATION HEADER CLASS 200 PVC
  - AREA PERIMETER
  - 1" PVC PERIMETER LATERALS 2" TO 4" FROM EDGE
  - AIR/VACUUM RELIEF VALVE
  - PVC TEE CONNECTION
  - VACUUM RELIEF VALVE
  - FLUSH VALVE
  - LANDSCAPE DRIP LINE - SEE IRRIGATION LEGEND FOR EMITTER SPACING

**5 DRIPLINE LAYOUT DIAGRAM**  
## SCALE: NTS



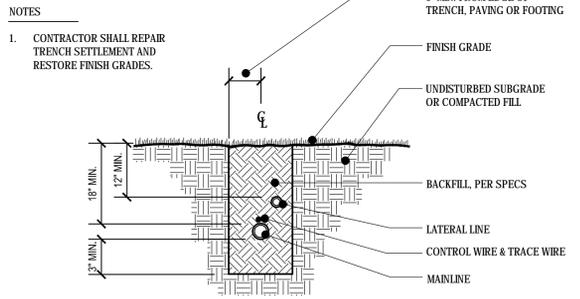
- NOTES**
- 1. PLACE VACUUM RELIEF VALVE AT FURTHEST END(S) OF ZONE.
  - 2. STAKE TUBING WITH MIN. 6" LONG STAPLES AT 8' INTERVALS ALONG ENTIRE LENGTH.
- DISTANCE VARIES SEE PLANS
  - REMOTE CONTROL DRIP VALVE
  - MAINLINE
  - IRRIGATION HEADER CLASS 200 PVC
  - VACUUM RELIEF VALVE
  - SPECIFIED EMITTER
  - LANDSCAPE DRIP LINE - SEE IRRIGATION LEGEND FOR EMITTER SPACING

**6 INLINE EMITTER TUBING INSTALLATION**  
## SCALE: NTS



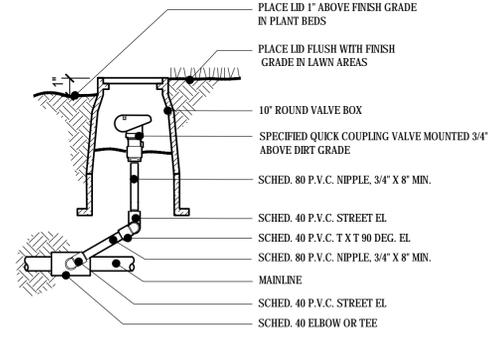
- FINISH GRADE
- 6" ROUND VALVE BOX
- FLUSH VALVE
- PVC COUPLING
- POLY PIPE FROM HEADER
- BRICK SUPPORTS (THREE)
- 3/4" PEA GRAVEL SUMP - 1 CUBIC FOOT

**7 FLUSH VALVE**  
## SCALE: NTS



- NOTES**
- 1. CONTRACTOR SHALL REPAIR TRENCH SETTLEMENT AND RESTORE FINISH GRADES.
- 3" MIN. FROM EDGE OF TRENCH, PAVING OR FOOTING
  - FINISH GRADE
  - UNDISTURBED SUBGRADE OR COMPACTED FILL
  - BACKFILL PER SPECS
  - LATERAL LINE
  - CONTROL WIRE & TRACE WIRE
  - MAINLINE

**8 IR TRENCHING DETAIL**  
## SCALE: NTS



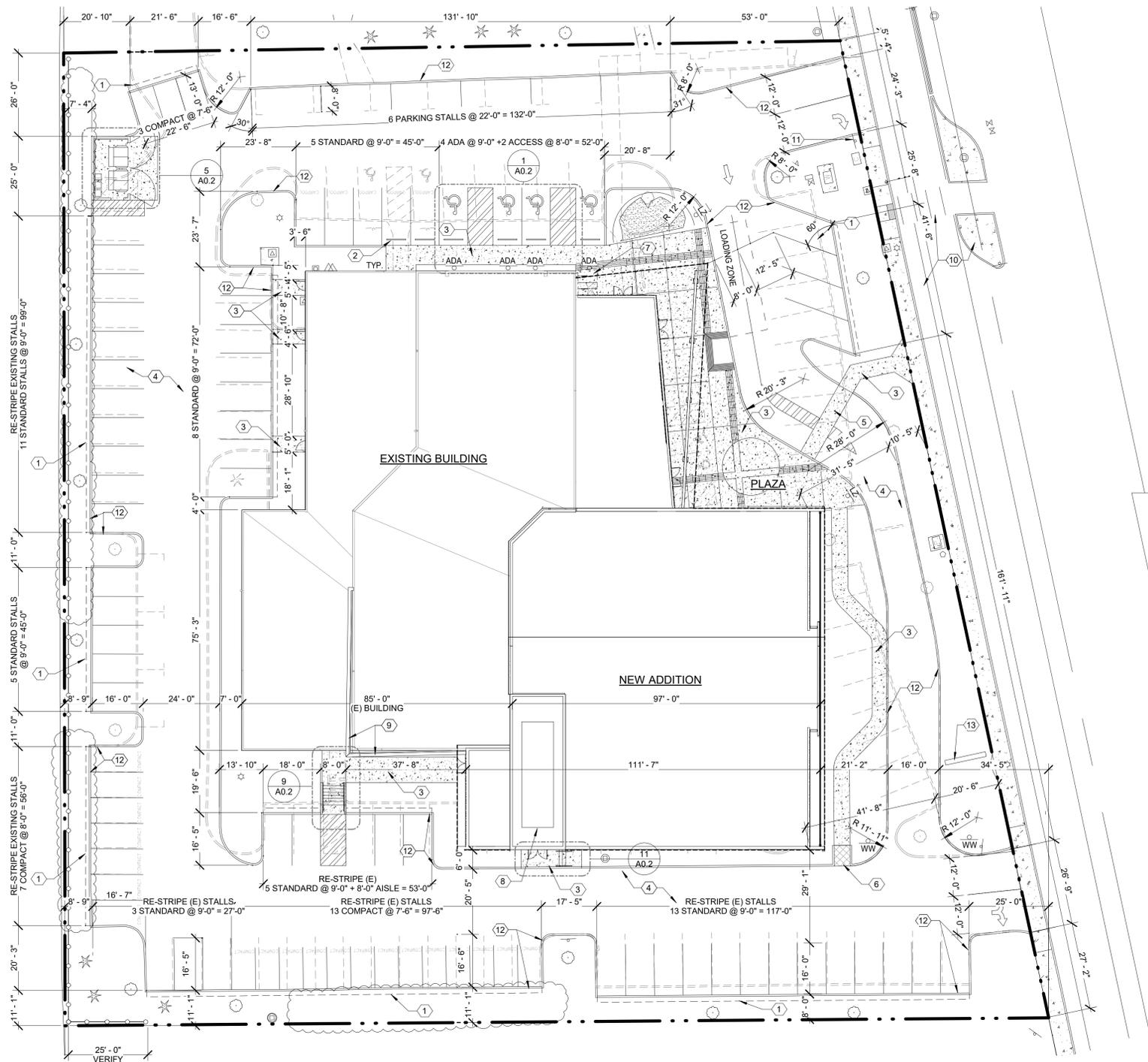
- PLACE LID 1" ABOVE FINISH GRADE IN PLANT BEDS
- PLACE LID FLUSH WITH FINISH GRADE IN LAWN AREAS
- 10" ROUND VALVE BOX
- SPECIFIED QUICK COUPLER VALVE MOUNTED 3/4" ABOVE DIRT GRADE
- SCHED. 80 P.V.C. NIPPLE, 3/4" X 8" MIN.
- SCHED. 40 P.V.C. STREET EL
- SCHED. 40 P.V.C. T X T 90 DEG. EL
- SCHED. 80 P.V.C. NIPPLE, 3/4" X 8" MIN.
- MAINLINE
- SCHED. 40 P.V.C. STREET EL
- SCHED. 40 ELBOW OR TEE

**9 QUICK COUPLER VALVE DETAIL**  
## SCALE: NTS

P:\2018\1710103\_03 - Grace Chapel - LA\2018\1710103\_03.dwg : Aug. 13, 18 - 8:05 AM long

1	DESIGN	REVIEW	SUBMITTAL	8/10/18
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1  
A0.1 SITE PLAN  
1" = 20'-0"

**SITE PLAN NOTES**

1. CURB RADIUS AT PARKING AREA TO BE 3'-0" UNLESS NOTED OTHERWISE.
2. EXISTING CONDITIONS SHOWN ARE BASED ON SURVEY DONE BY AKS AND DATED 03/01/18.
3. CONTRACTOR TO CONFIRM EXISTING CONDITION SHOWN ON IMPLIED PRIOR TO START OF CONSTRUCTION AND NOTIFY A/E OF ANY DISCREPANCIES.
4. SEE CIVIL & LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION. DIRECTIONAL & WAYFINDING SIGNAGE TO BE COORDINATED W/ OWNER FOR QUANTITY & LOCATIONS.
5. SEE SITE LIGHTING PLANS FOR ADDITIONAL INFORMATION.
6. SEE COVERSHEET FOR SITE & BUILDING DATA INCLUDING ZONING SUMMARY. SEE FIRE LIFE SAFETY SHEETS FOR BUILDING CODE SUMMARY.
7. ALL PAINT STRIPING TO BE 4" WHITE UNLESS NOTED OTHERWISE.

**LEGEND**

- EXISTING CONDITION TO BE REMOVED
- ACCESSIBLE PARKING STALL - VAN ACCESSIBLE WHERE NOTED
- (E) EXISTING
- ADA ADA PARKING SIGNAGE - SEE 8/A0.2
- LOADING ZONE SIGNAGE - "PASSENGER LOADING AND UNLOADING ONLY BETWEEN SIGNS" BLACK LETTERING ON WHITE REFLECTIVE SIGN FACE ON 7' POLES SET IN GROUTED SLEEVE W/ WHITE PAINTING CURB BETWEEN SIGNS "LOADING / UNLOADING" STENCILED EVERY 25'
- WW "WRONG WAY - DO NOT ENTER" SIGN MOUNTED ON 7' POLE
- PAINTED CURB - YELLOW - W/ "NO PARKING" STENCILED EVERY 25'
- PAINTED CURBS - RED - W/ "NO PARKING" STENCILED EVERY 25'
- FIRE HYDRANT
- LIGHT POLE
- 5'-0" HIGH BLACK VINYL CHAIN LINK FENCE - REMOVE EXISTING FENCING WHERE OCCURS

**KEYNOTES**

- |    |   |
|----|---|
| 1  | 2'-0" BUMPER OVERHANG.  |
| 2  | CONCRETE WHEEL STOP.  |
| 3  | CONCRETE PAVING - PLAZA - SEE LANDSCAPE PLAN FOR ADDITIONAL INFO.                           |
| 4  | ASPHALT PAVING PER - PER CIVIL.   |
| 5  | STAMPED CONCRETE CROSSWALK - 5'-0" WIDE - FLUSH W/ SIDEWALK & PLAZA.                        |
| 6  | CONCRETE CURB RAMP 1:12 SLOPE W/ DIAMOND PATTERN.   |
| 7  | LOOP STYLE BIKE RACK - SEE 11/A0.2.   |
| 8  | HVAC UNIT - LOCATED IN ROOF / SCREEN WELL - SEE A2.1.                                       |
| 9  | BUILDING MOUNTED ACCENT BANDS AND SIGNAGE - SEE A2.1 / A2.2.                                |
| 10 | EXISTING RIGHT-OF-WAY IMPROVEMENT TO REMAIN (SIDEWALK, CURB, CROSSWALK, MEDIAN & LIGHTING). |
| 11 | EXISTING RIGHT TURN ONLY SIGN TO REMAIN.  |
| 12 | CONCRETE CURB - NEW CURBING THROUGHOUT. REVIEW CONDITION W/ OWNER - REPLACE                 |
| 13 | MONUMENT SIGN (DOUBLE SIDED) ON 1'-0" CONCRETE BASE - SEE 7/A0.2.                           |



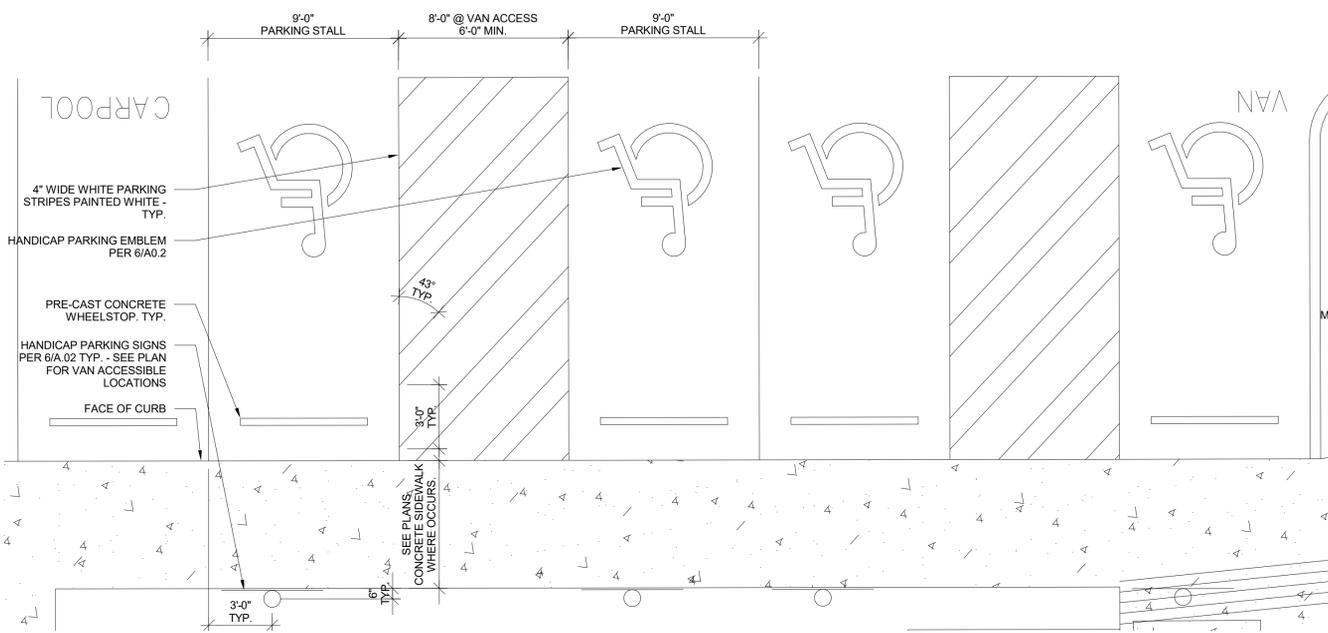
ISSUE DATE	
LANDSCAPE DESIGN	07/18/18
FRANCHISE HALLER REVIEW	07/18/18
DESIGN REVIEW	08/10/18

CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT AND / OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.

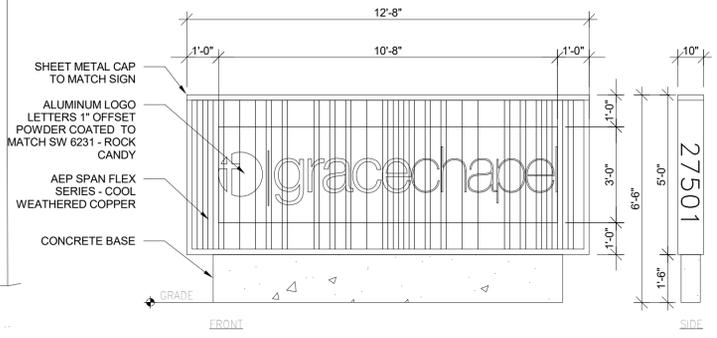


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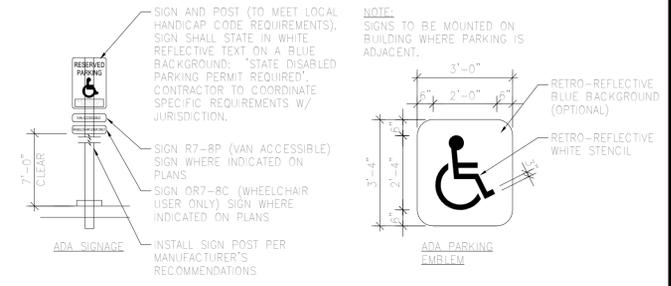
ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
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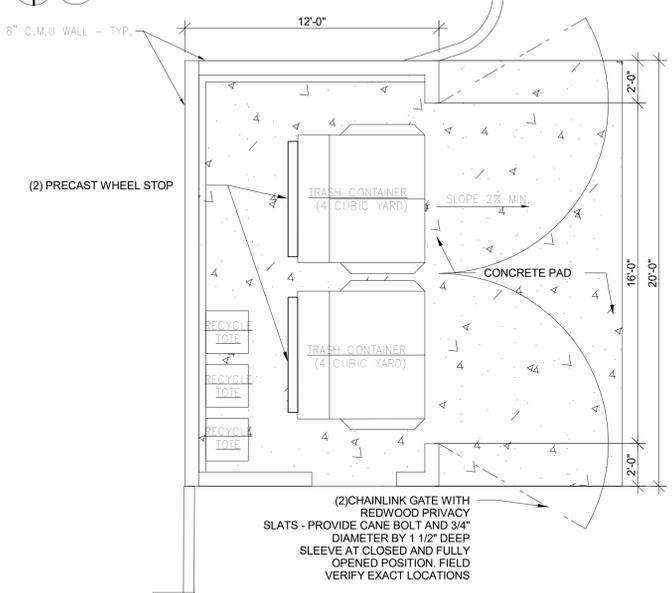
**1 ADA PARKING PLAN**  
1/4" = 1'-0"



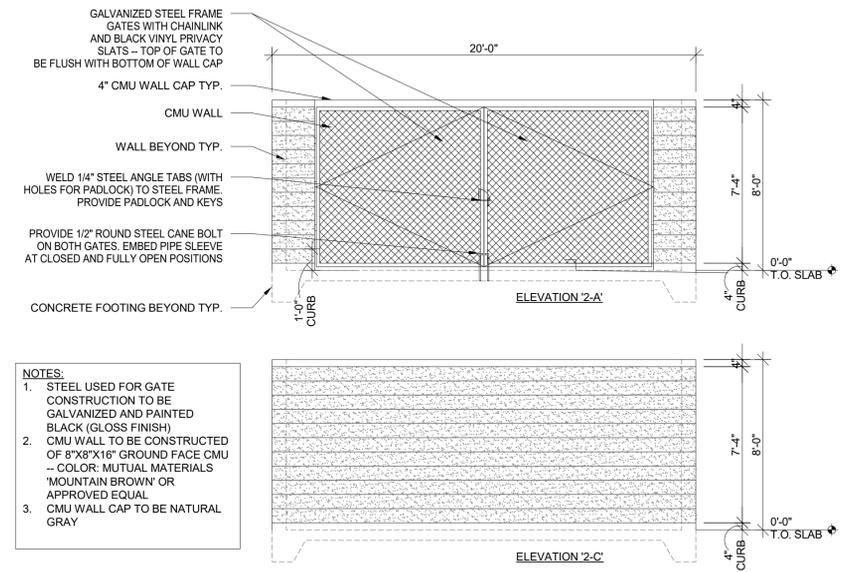
**3 MONUMENT SIGN**  
3/8" = 1'-0"



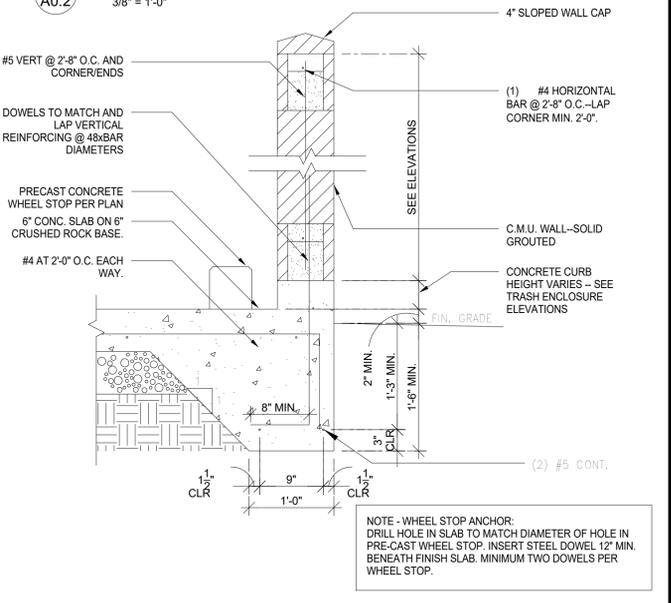
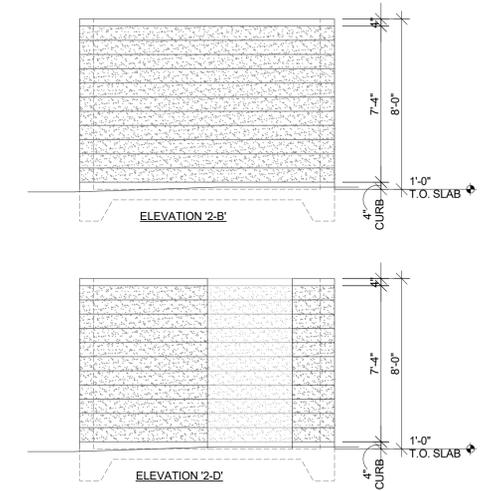
**4 HANDICAP PARKING EMBLEM AND SIGN**  
3/8" = 1'-0"



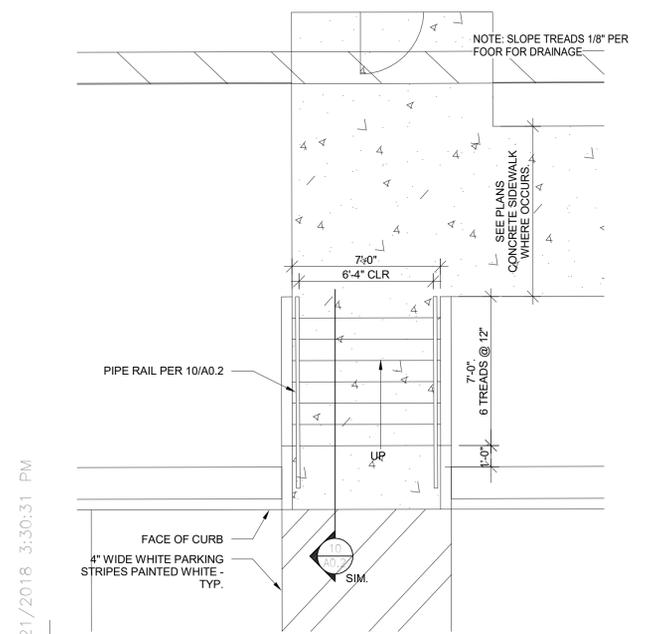
**5 TRASH ENCLOSURE PLAN**  
1/4" = 1'-0"



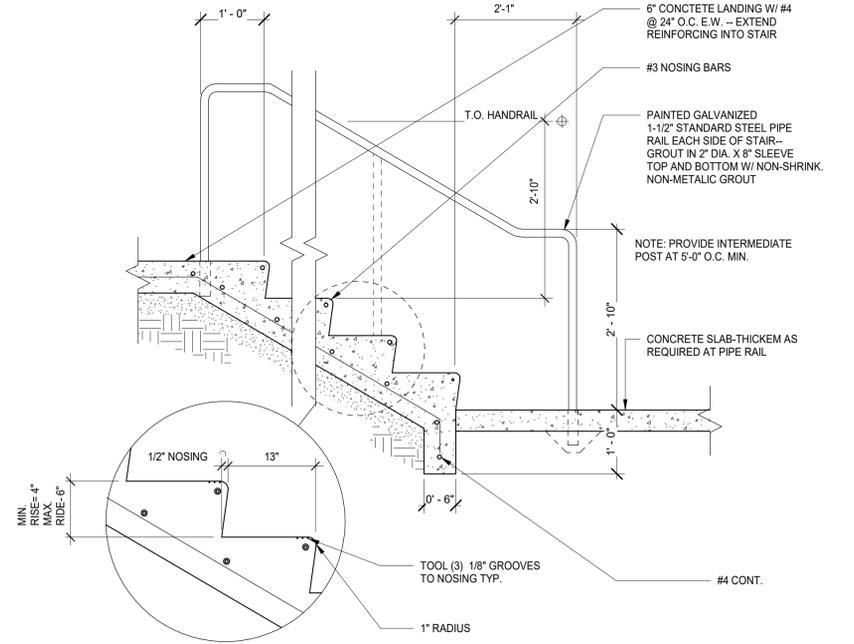
**6 TRASH ENCLOSURE ELEVATIONS**  
1/4" = 1'-0"



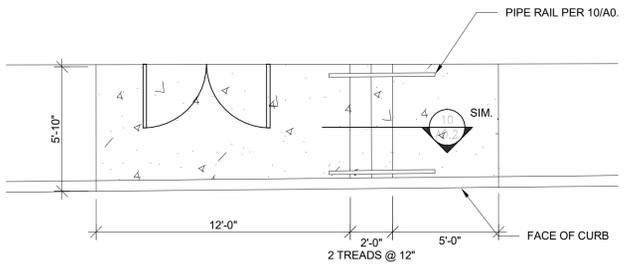
**8 TRASH ENCLOSURE SECTION**  
1" = 1'-0"



**9 CONCRETE STAIR PLAN**  
1/4" = 1'-0"



**10 CONCRETE STAIR DETAIL**  
3/4" = 1'-0"

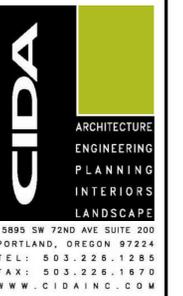


**11 CONCRETE STAIR PLAN @ STORAGE**  
1/4" = 1'-0"



ISSUE DATE: 08/10/18  
DESIGN REVIEW: 4

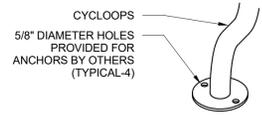
CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.



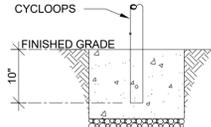
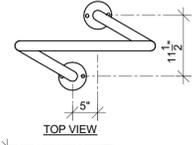
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SITE DETAILS  
**A0.2**  
170288.03

2/21/2018 3:30:31 PM



2178-83-P (PEDESTAL MOUNT)

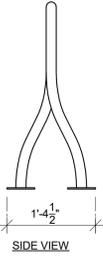
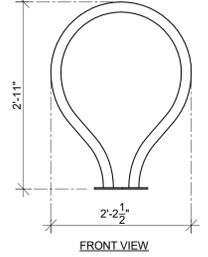


NOTE  
CONCRETE FOOTING AND NO.4 REBAR (BY OTHERS PER LOCAL SOIL CONDITIONS, CONSULT PROJECT ENGINEER FOR EXACT REQUIREMENTS.)

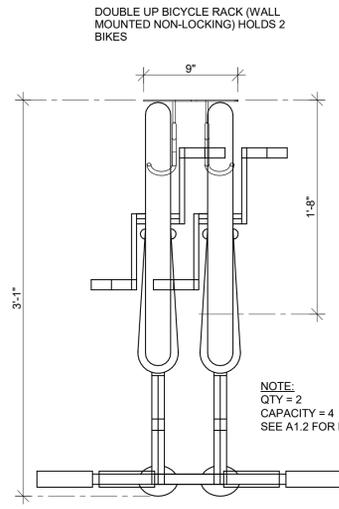
2178-83-E (EMBEDMENT)

TIMBERFORM MODEL NO. 2178-83  
CYCLOOPS TWIST

NOTE:  
QTY = 2  
CAPACITY = 4  
SEE A0.1 FOR LOCATION



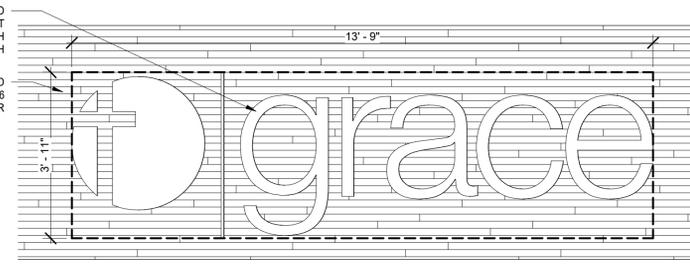
1  
A0.3  
EXTERIOR BIKE RACK  
3/4" = 1'-0"



2  
A0.3  
INTERIOR BIKE RACK  
1 1/2" = 1'-0"

ALUMINUM LOGO LETTERS 1" OFFSET  
POWDER COATED TO MATCH BM 1547 - DRAGON'S BREATH

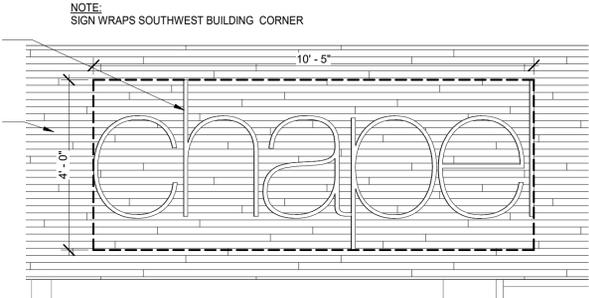
LONGBOARD 1501/02-716  
LIGHT FIR



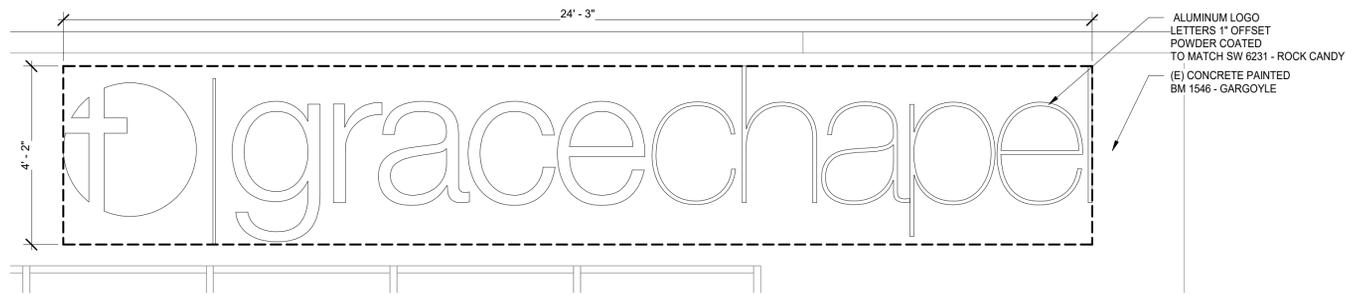
3  
A0.3  
GRACE SIGN (WEST ELEVATION)  
1/2" = 1'-0"

ALUMINUM LOGO LETTERS 1" OFFSET  
POWDER COATED TO MATCH BM 1547 - DRAGON'S BREATH

LONGBOARD 1501/02-716  
LIGHT FIR



4  
A0.3  
CHAPEL SIGN (SOUTH ELEVATION)  
1/2" = 1'-0"



5  
A0.3  
GRACE CHAPEL SIGN (EAST ELEVATION)  
1/2" = 1'-0"



ISSUE DATE 08/10/18  
DESIGN REVIEW 4

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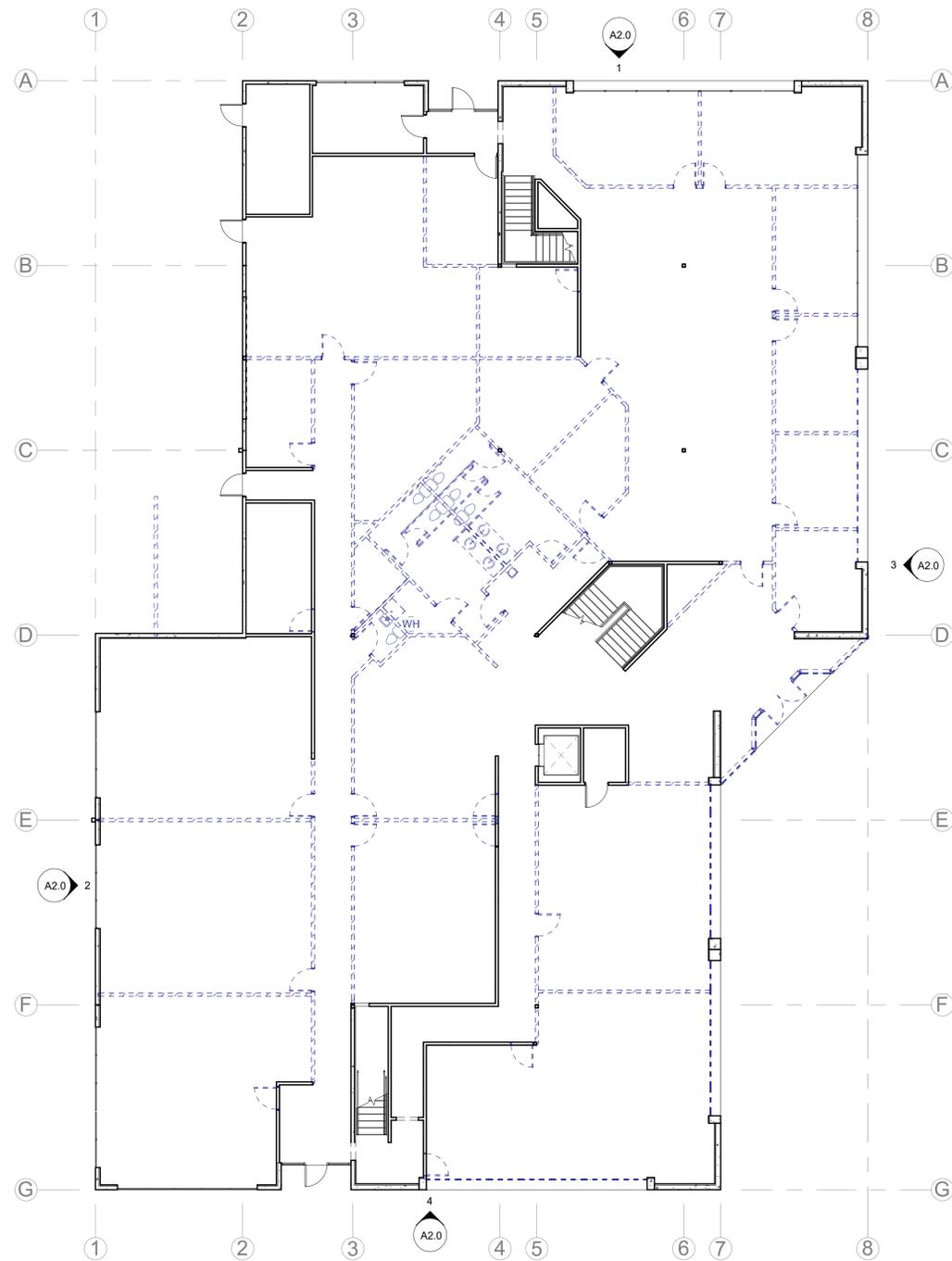
ADDITION & REMODEL FOR:  
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SITE DETAILS  
**A0.3**

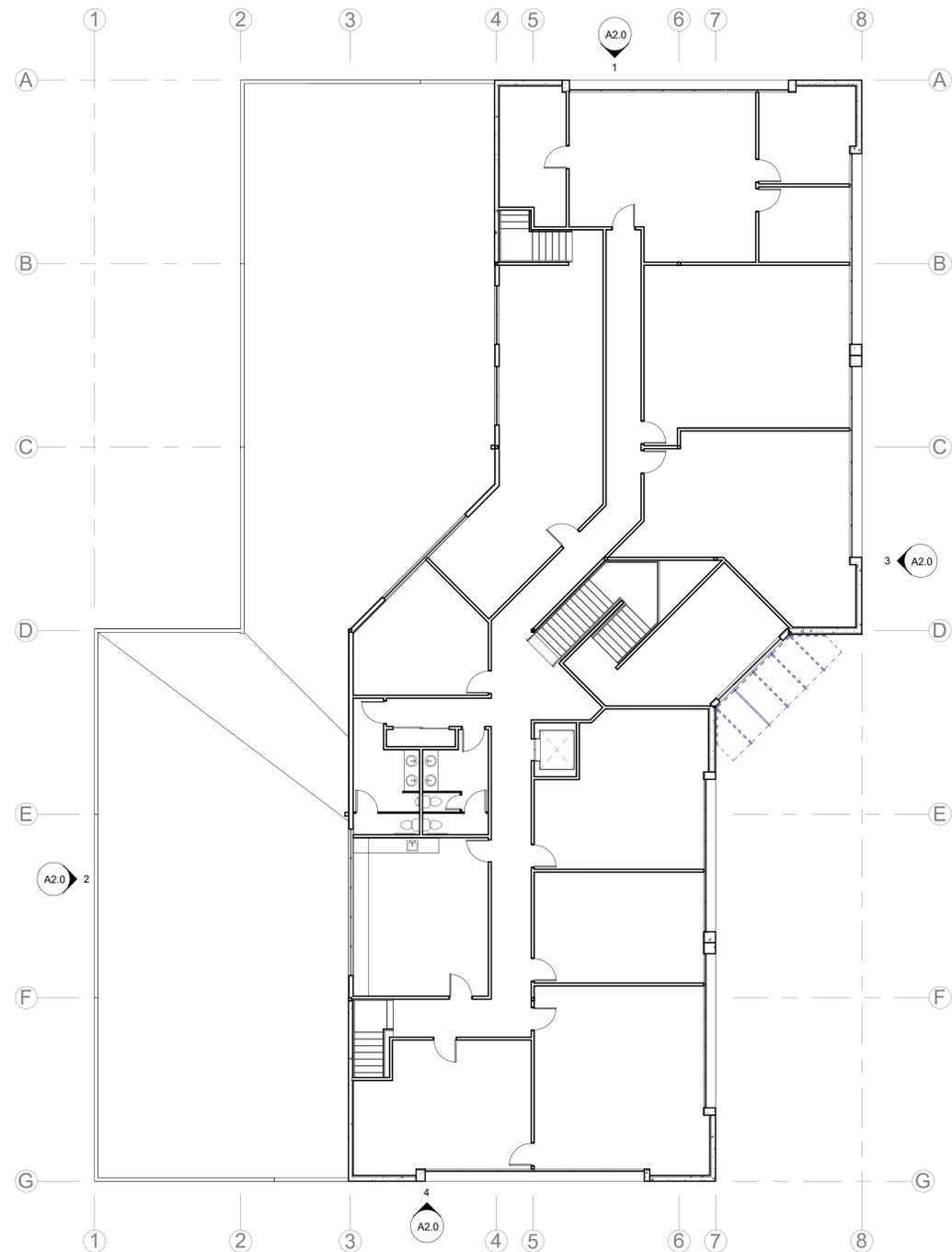
170288.03

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FOR REFERENCE ONLY



1 (E) LEVEL 1 FLOOR PLAN  
A1.0 3/32" = 1'-0"



2 (E) LEVEL 2 FLOOR PLAN  
A1.0 3/32" = 1'-0"



ISSUE DATE 08/10/18  
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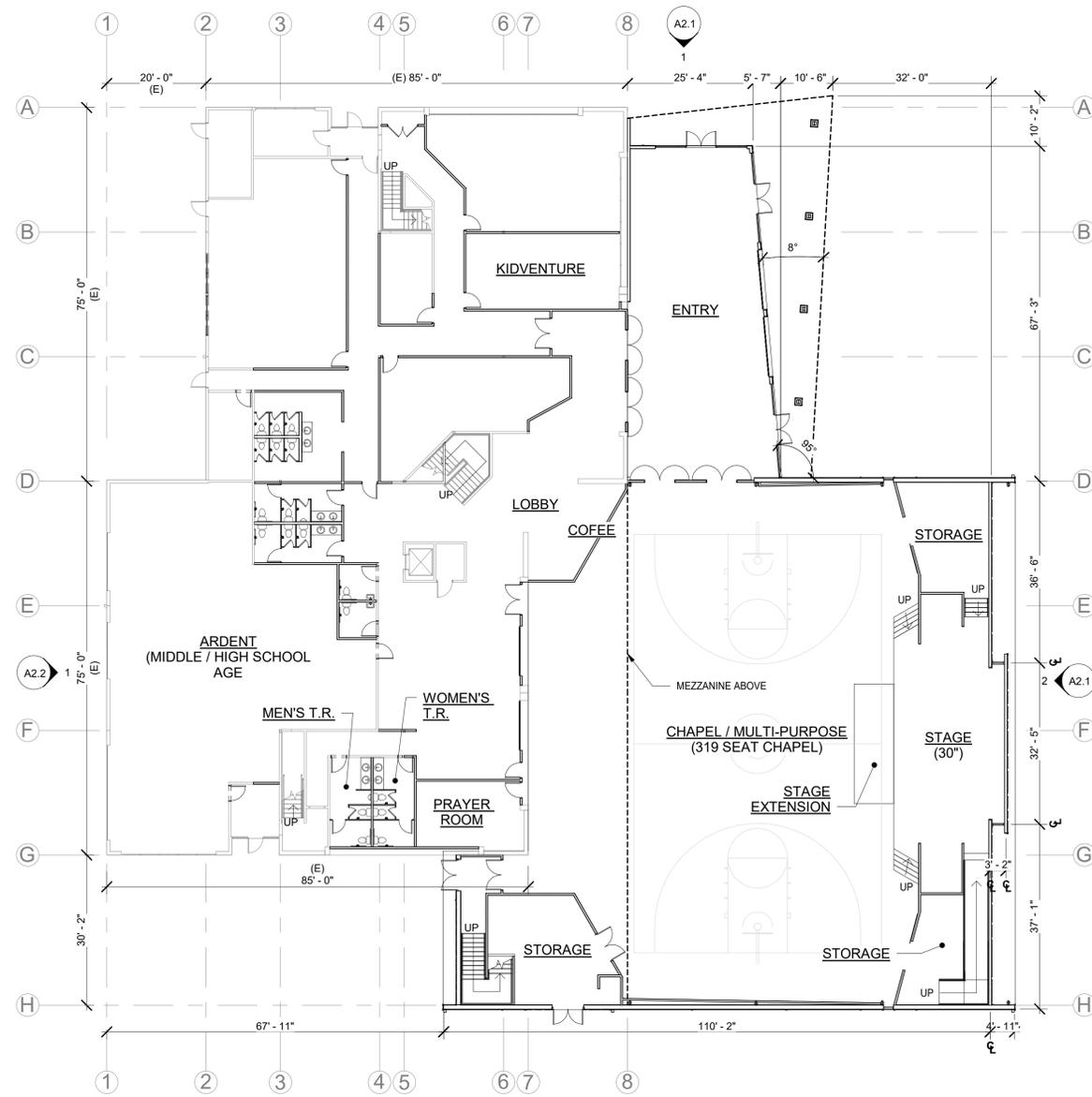
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EXISTING FLOOR PLANS

**A1.0**

170288.03

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1  
A1.1 LEVEL 1 FLOOR PLAN  
1/16" = 1'-0"



ISSUE DATE  
05/21/18  
08/10/18

MECHANICAL SIZING  
DESIGN REVIEW  
1 4

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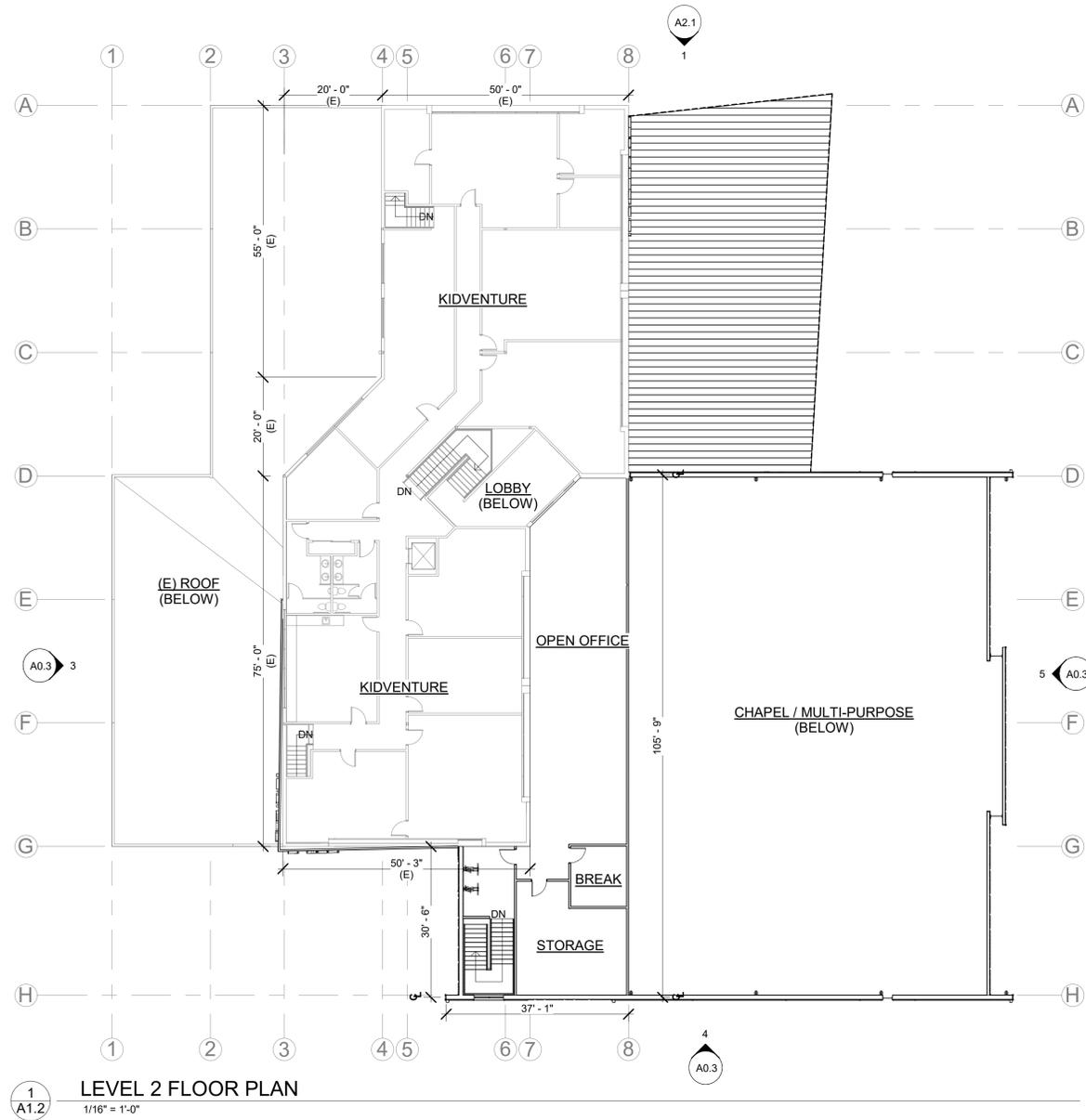
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ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
27501 SW PARKWAY AVE. WILSONVILLE, OREGON

FLOOR PLAN

**A1.1**

170288.03



ISSUE DATE  
05/21/18  
08/10/18

MECHANICAL SIZING  
DESIGN REVIEW

1 4

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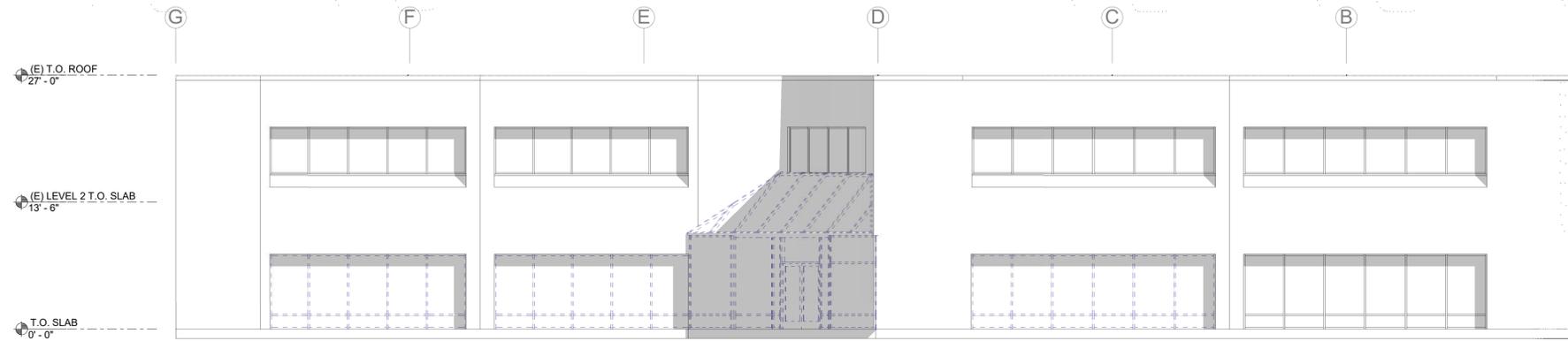
ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
27501 SW PARKWAY AVE. WILSONVILLE, OREGON

FLOOR PLAN

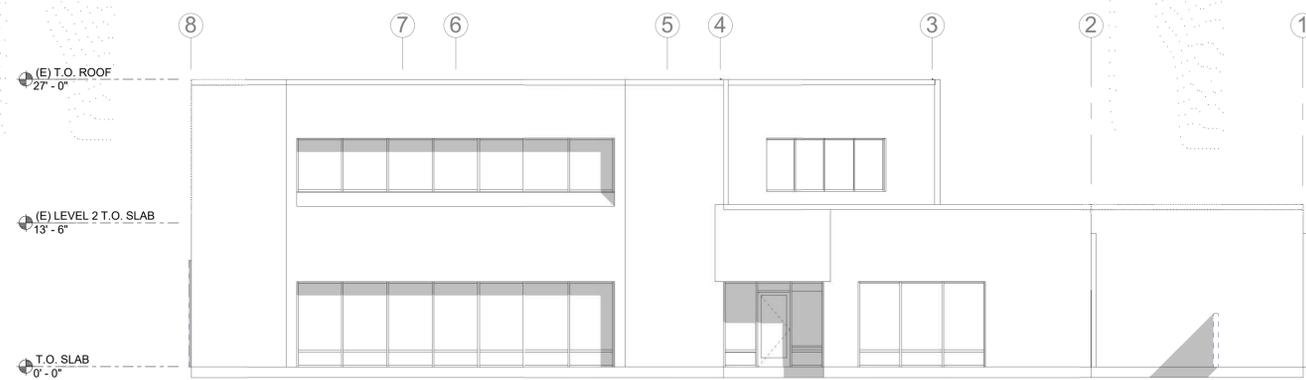
**A1.2**

170288.03

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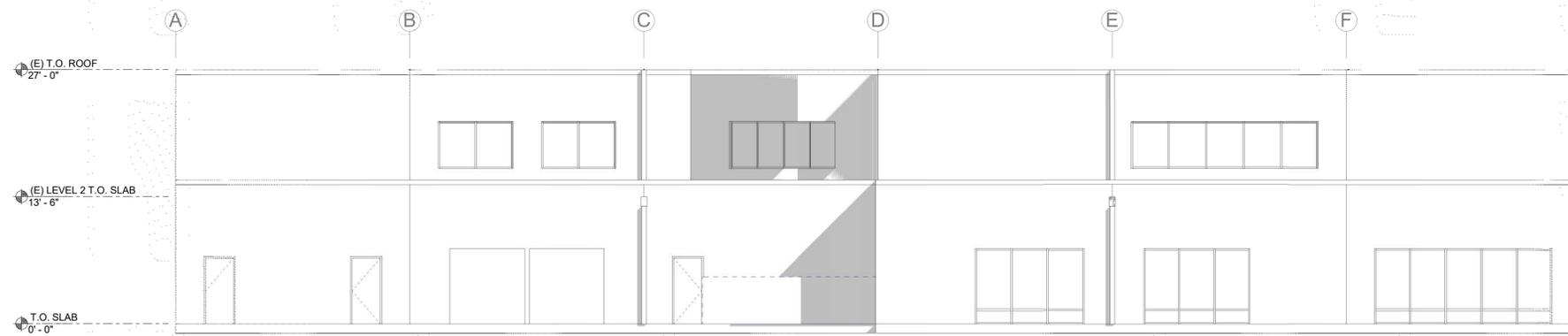
3 (E) BUILDING ELEVATION - EAST  
A2.0  
1/8" = 1'-0"



1 (E) BUILDING ELEVATION - NORTH  
A2.0  
1/8" = 1'-0"



4 (E) BUILDING ELEVATION - SOUTH  
A2.0  
1/8" = 1'-0"



2 (E) BUILDING ELEVATION - WEST  
A2.0  
1/8" = 1'-0"



ISSUE DATE: 09/10/18  
DESIGN REVIEW: [Signature]  
4

CONTRACTOR SHALL VERIFY AND CONFIRM ALL CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT AND / OR ENGINEER OF ANY DISCREPANCIES PRIOR TO START OF WORK.



ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
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EXISTING ELEVATIONS

**A2.0**

170288.03

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ELEVATION NOTES

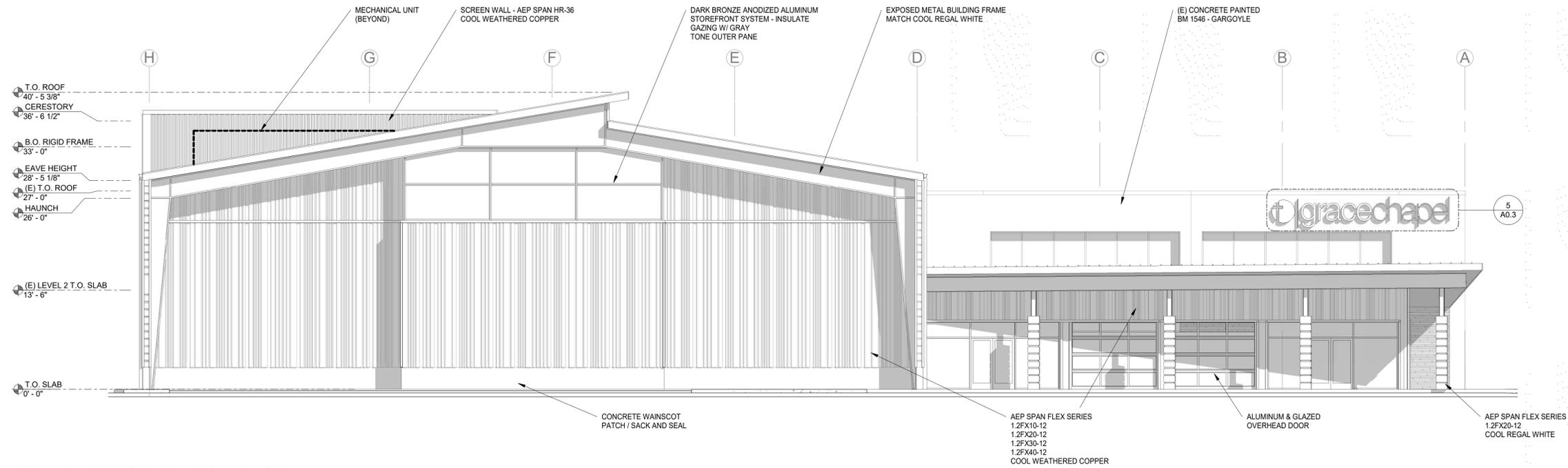
1. NOTES



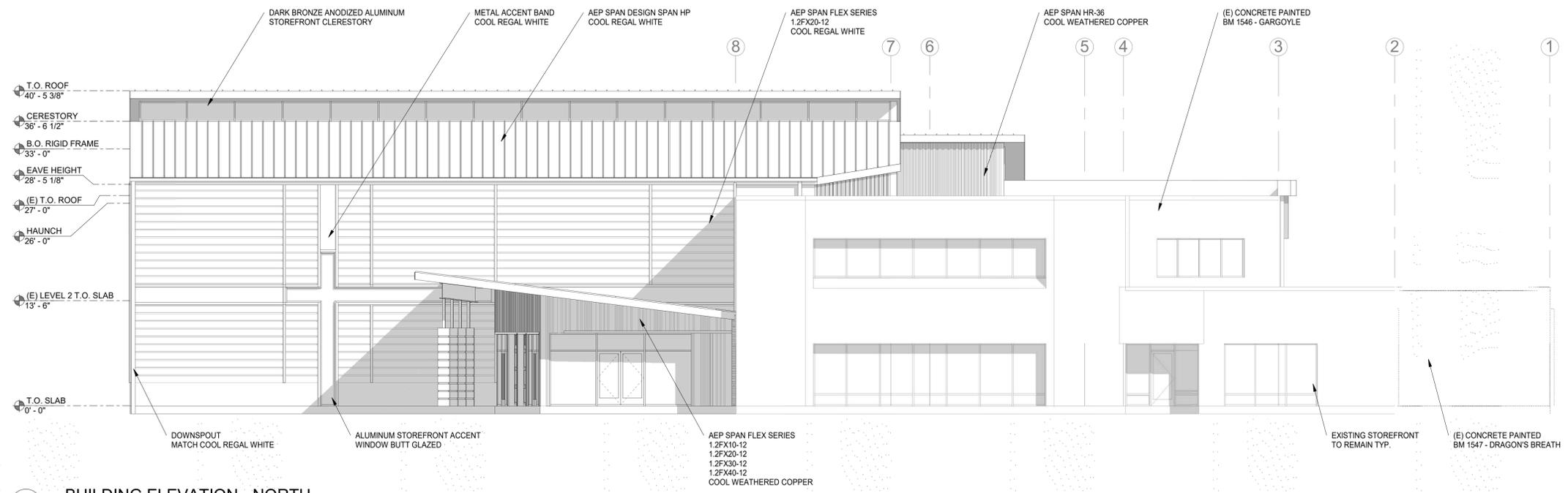
ISSUE DATE: 09/21/18  
 MECHANICAL/SIZING: 08/10/18  
 DESIGN REVIEW: 08/10/18

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**2 BUILDING ELEVATION - EAST**  
 1/8" = 1'-0"



**1 BUILDING ELEVATION - NORTH**  
 1/8" = 1'-0"

ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
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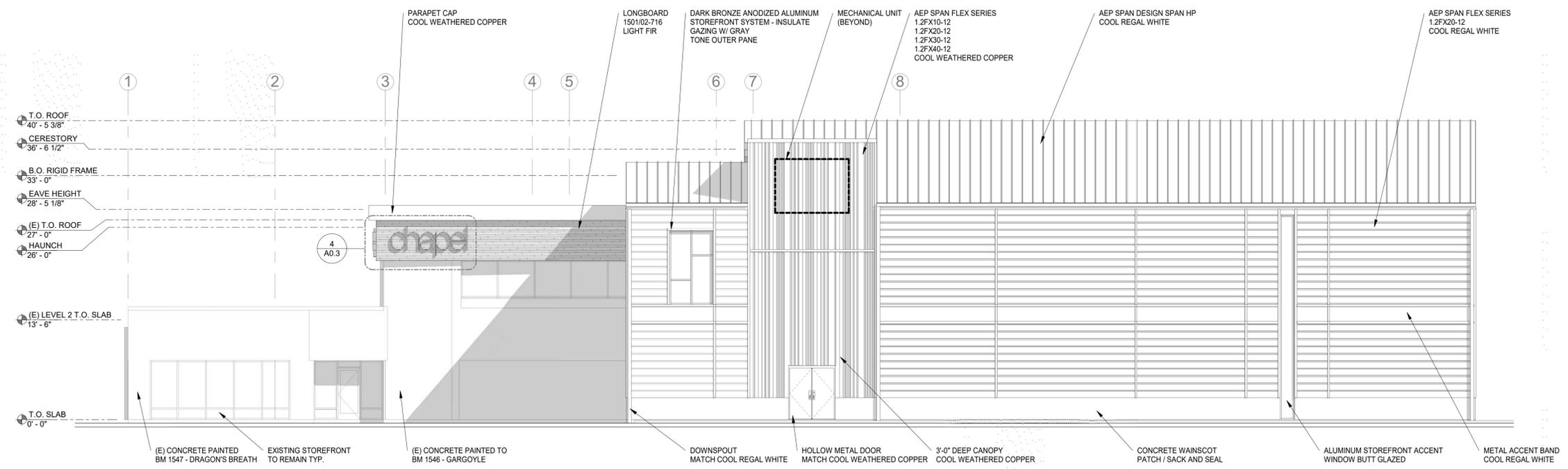
ELEVATIONS  
**A2.1**  
 170288.03  
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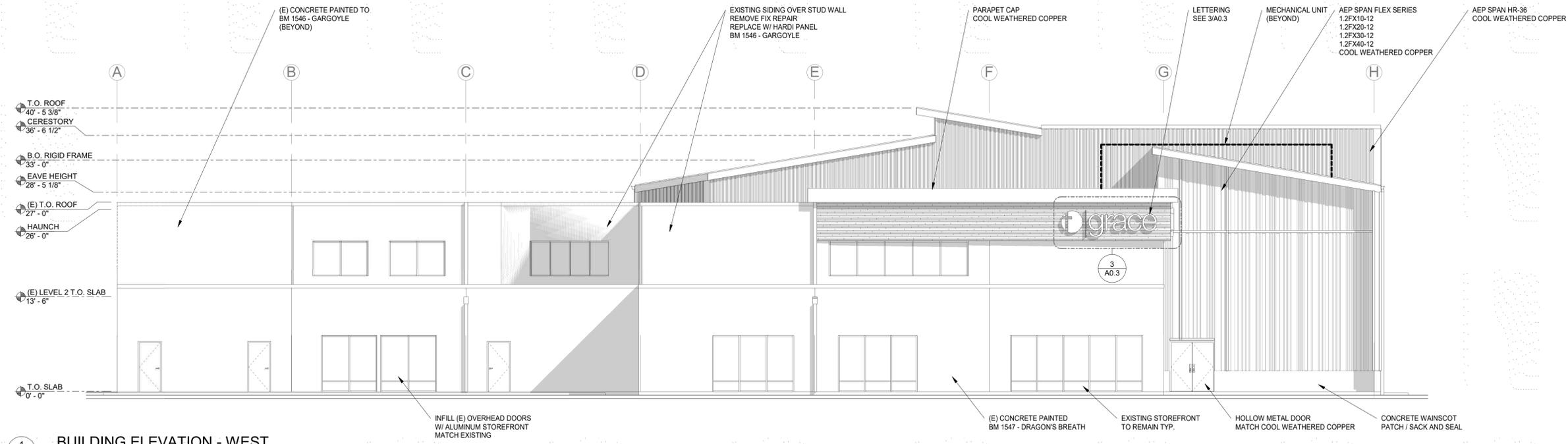
ISSUE DATE: 09/21/18  
 MECHANICAL/SIZING: 09/10/18  
 DESIGN REVIEW: 09/10/18

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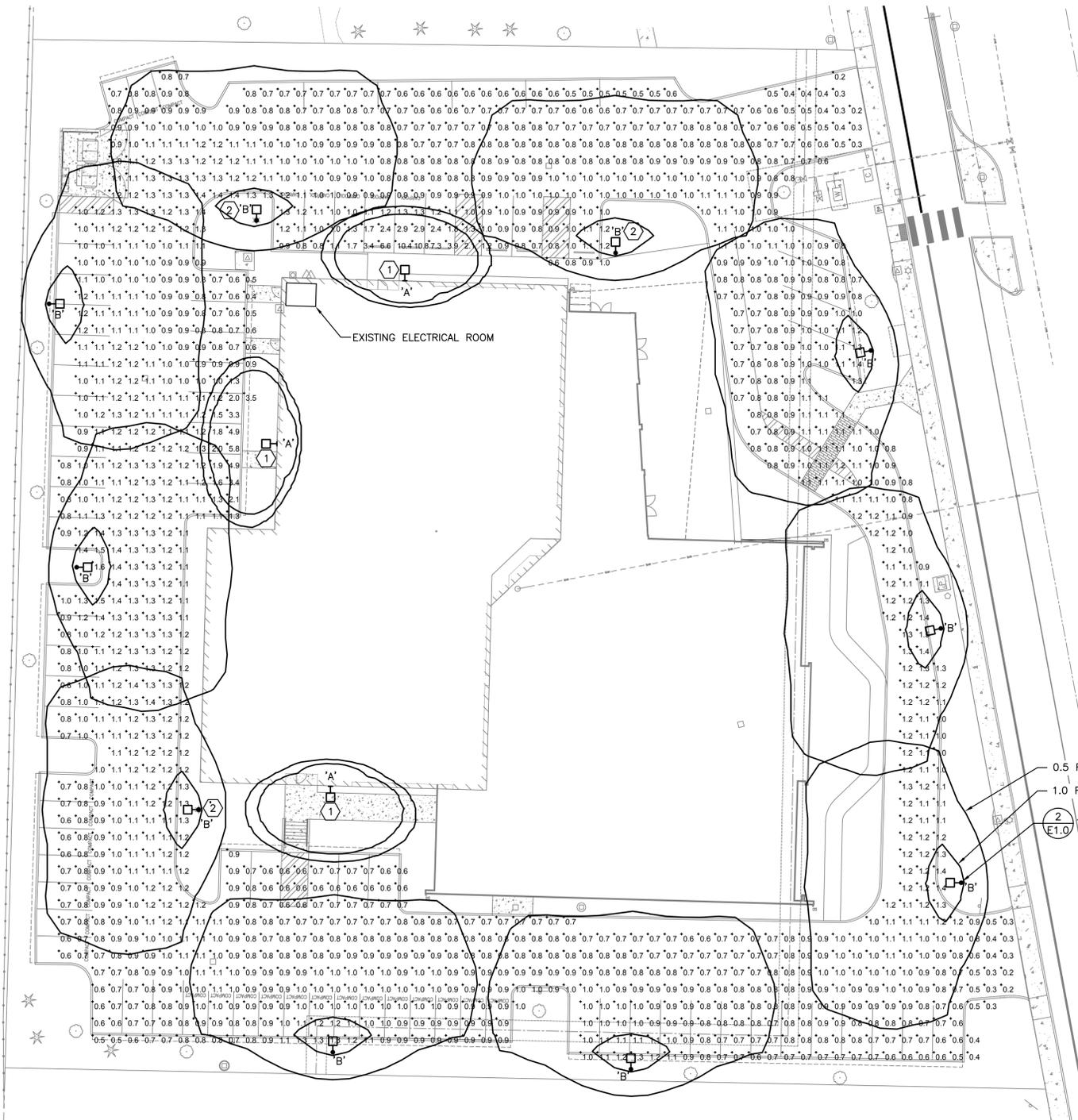
**2**  
**A2.2**  
 BUILDING ELEVATION - SOUTH  
 1/8" = 1'-0"



**1**  
**A2.2**  
 BUILDING ELEVATION - WEST  
 1/8" = 1'-0"

ADDITION & REMODEL FOR:  
**GRACE CHAPEL**  
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ELEVATIONS  
**A2.2**  
 170288.03



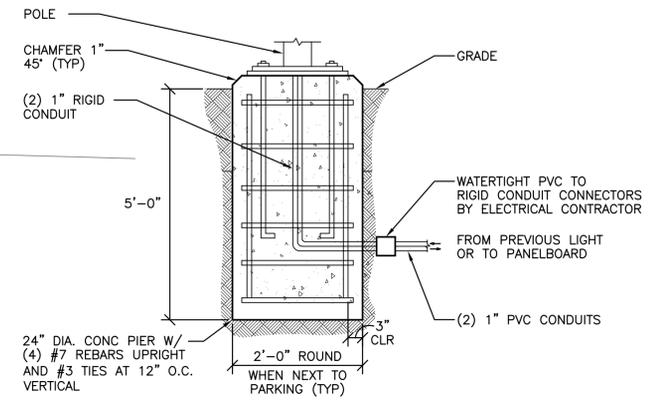
1 SITE PLAN - POWER  
SCALE: 1" = 20'-0"

NOTES THIS SHEET

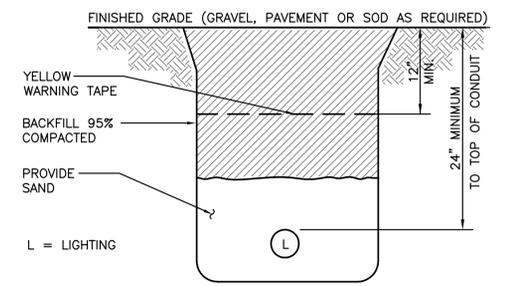
- 1 CONTRACTOR TO REPLACE EXISTING WALL MOUNTED LUMINAIRE AND INSTALL NEW. CONTRACTOR TO VERIFY THE LIGHTING BRANCH CIRCUIT IS CODE COMPLIANT.
- 2 CONTRACTOR TO REUSE EXISTING POLE AND BASE. CONTRACTOR TO VERIFY THAT EXISTING POLE AND BASE EXCEEDS LUMINAIRE EPA RATING PRIOR TO START OF WORK.

GENERAL NOTES

- A. ALL FOOT CANDLE ISO CURVE CALCULATIONS ARE BASED ON A SINGLE CALCULATION ZONE.
- B. INNER LUMINAIRE ISO CURVE INDICATES 1 FOOT CANDLE. OUTER LUMINAIRE ISO CURVE INDICATES 0.5 FOOT CANDLE. BASED ON CONTRIBUTION OF A SINGLE LUMINAIRE.
- C. ALL TYPE 'A' LUMINAIRES ARE CALCULATED AT +30 FEET ABOVE FINISHED GRADE.
- D. ALL TYPE 'B' LUMINAIRES ARE CALCULATED AT +10'-6" FEET ABOVE FINISHED GRADE.
- E. FOOT CANDLES ISO CURVE ARE SHOWN AS A SINGLE FIXTURE CONTRIBUTIONS WITH SET VALUES. THE ISO CURVE VALUES MAY NOT MATCH THE CALCULATION PLANE POINT VALUES, SINCE THE CALCULATION PLANE CAN BE A CONTRIBUTION FROM MORE THAN ONE LUMINAIRE.
- F. CONTRACTOR TO CUT AND PATCH ASPHALT FOR INSTALLATION OF LIGHTING BRANCH CIRCUIT.
- G. CONTRACTOR TO PROVIDE AND INSTALL SITE LIGHTING BRANCH CIRCUIT. CONTRACTOR TO INSTALL (1) 1" PVC CONDUIT WITH (3) #10 CONDUCTORS TO ALL LUMINAIRES. ROUTE CONDUIT BACK TO MAIN ELECTRICAL ROOM. TERMINATE CONDUCTORS ON EXISTING SITE LIGHTING CIRCUIT BREAKER. RETAIN EXISTING LIGHTING CONTROL/PHOTO-CELL. SEE DETAIL 3/E1.0 FOR TYPICAL TRENCHING.



2 LIGHT POLE BASE DETAIL  
E1.0 NTS



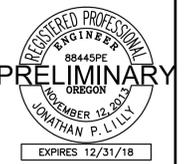
3 TRENCH SECTION  
E1.0 NTS

STATISTICS		DESIGN VALUES				TARGET VALUES		
DESCRIPTION	CLASSIFICATION	SYMBOL	AVG	MAX	MIN	AVG/MIN	AVG	AVG/MIN
PARKING LOT	-	+	1.0 fc	10.8 fc	0.2 fc	5.0:1	≥ 1.0	≤ 6.0:1

LIGHTING LOAD			
TYPE	QUANTITY	LOAD	SUB-TOTAL
TYPE 'A'	3	50W	150W
TYPE 'B'	10	70W	700W
TOTAL			950W

LUMINAIRE SCHEDULE						
FIXTURE TYPE	DESCRIPTION	LAMP TYPE	BALLAST/DRIVER	LOCATION	MANUFACTURER AND MODEL NUMBER	INPUT WATTS
'A'	17" WIDE, 8-1/2" DEEP WALL SCONCE, 3 LIGHT ENGINE, TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE, DIECAST ALUMINUM HOUSING, ACRYLIC LENS, VISUAL COMFORT WIDE.	(10) LED 6689 LUMENS 4000K, 70 CRI	DRIVER 700mA MVOLT	SURFACE	LITHONIA LIGHTING: WST LED SERIES OR APPROVED	50W
'B'	POLE MOUNTED LUMINAIRE, 30 LEDS, 4000K, TYPE 3 MEDIUM DISTRIBUTION, DARK BRONZE FINISH MVOLT DRIVER, DARK SKY RATED, FULLY GASKETED, DIE-CAST ALUMINUM HOUSING, 4" ARM, 30-FOOT POLE, HOUSE SIDE-SHIELD	(30) LED 8,901 LUMENS 4000K 70CRI	DRIVER 700mA MVOLT	POLE MOUNTED	LITHONIA LIGHTING: DSX1 SERIES OR APPROVED.	70W
30' POLE	POLE FOR LUMINAIRE SHALL BE 30'-0" STRAIGHT SQUARE STEEL, RECTANGULAR COVER PLATE. POLE TO WITHSTAND 100 MILE PER HOUR WINDS. (TEMPLATE PROVIDED WITH POLE) FINISH DARK BRONZE TO MATCH LUMINAIRE.				LITHONIA LIGHTING: SSS SERIES, SPAULDING LIGHTING OR APPROVED.	

NOTE:  
1. VERIFY ALL LUMINAIRE FINISHES WITH ARCHITECT PRIOR TO BID.



ISSUED DATE: 08/10/18  
1 DEVELOPMENT REVIEW SUBMITTAL



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SITE PLAN - LIGHTING

E1.0

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