

City of Wilsonville

City Council Meeting

August 5, 2019



AGENDA

**WILSONVILLE CITY COUNCIL MEETING
AUGUST 5, 2019
7:00 P.M.**

**CITY HALL
29799 SW TOWN CENTER LOOP EAST
WILSONVILLE, OREGON**

Mayor Tim Knapp

Council President Kristin Akervall
Councilor Charlotte Lehan

Councilor Vacant
Councilor Ben West

CITY COUNCIL MISSION STATEMENT

To protect and enhance Wilsonville's livability by providing quality service to ensure a safe, attractive, economically vital community while preserving our natural environment and heritage.

Executive Session is held in the Willamette River Room, City Hall, 2nd Floor

- 5:00 P.M. EXECUTIVE SESSION [20 min.]**
A. Pursuant to: ORS 192.660 (2)(e) Real Property Transactions
ORS 192.660(2)(h) Legal Counsel / Litigation
- 5:20 P.M. REVIEW OF AGENDA AND ITEMS ON CONSENT [5 min.]**
- 5:25 P.M. COUNCILORS' CONCERNS [5 min.]**
- 5:30 P.M. PRE-COUNCIL WORK SESSION**
- A. Equitable Housing Strategic Plan (Rybold) [30 min.]
 - B. Declaration of an Emergency – Training and Exercise (Montalvo) [20 min.]
 - C. Schedule 95 for LED Street Lights (Montalvo) [20 min.]
 - D. New Community Engagement Website, LetsTalkWilsonville.com (Evans/Wolf) [15 min.]
 - E. Communications Facility Ground Lease (Clackamas 800 Radio Group) (Kerber) [5 min.]
- 7:00 P.M. ADJOURN**
-

CITY COUNCIL MEETING

The following is a summary of the legislative and other matters to come before the Wilsonville City Council a regular session to be held, Monday, August 5, 2019 at City Hall. Legislative matters must have been filed in the office of the City Recorder by 10 a.m. on July 16, 2019. Remonstrances and other documents pertaining to any matters listed in said summary filed at or prior to the time of the meeting may be considered there with except where a time limit for filing has been fixed.

7:00 P.M. CALL TO ORDER

- A. Roll Call
- B. Pledge of Allegiance
- C. Motion to approve the following order of the agenda and to remove items from the consent agenda.

7:05 P.M. COMMUNICATIONS

- A. 2019 Legislative Session Report by Senator Kim Thatcher (SD 13) & Senator Alan Olsen (SD 20)

7:25 P.M. CITIZEN INPUT & COMMUNITY ANNOUNCEMENTS

This is an opportunity for visitors to address the City Council on items *not* on the agenda. It is also the time to address items that are on the agenda but not scheduled for a public hearing. Staff and the City Council will make every effort to respond to questions raised during citizens input before tonight's meeting ends or as quickly as possible thereafter. Please limit your comments to three minutes.

7:30 P.M. MAYOR'S BUSINESS

- A. Upcoming Meetings

7:35 P.M. COUNCILOR COMMENTS

- A. Council President Akervall
- B. Councilor Lehan
- C. Councilor West

7:45 P.M. CONSENT AGENDA

- A. **Resolution No. 2665**

A Resolution Authorizing The City Manager To Enter Into A Lease Agreement With Clackamas 800 Radio Group For The Use Of City-Owned Property On Level C Reservoir Parcel As A Wireless Communication Facility Tower Site.

7:50 P.M. CONTINUING BUSINESS

- A. **Ordinance No. 837** – 2nd Reading

An Ordinance Of The City Of Wilsonville Amending Wilsonville Code Sections 8.010 And 4.179.

8:00 P.M. CITY MANAGER'S BUSINESS

8:05 P.M. LEGAL BUSINESS

8:10 P.M. ADJOURN

Periods for agenda items are not time certain (i.e. Agenda items may be considered earlier than indicated.) Assistive Listening Devices (ALD) are available for persons with impaired hearing and can be scheduled for this meeting if required at least 48 hours prior to the meeting. The city will also endeavor to provide the following services, without cost, if requested at least 48 hours prior to the meeting: Qualified sign language interpreters for persons with speech or hearing impairments. Qualified bilingual interpreters. To obtain services, please contact the City Recorder, (503) 570-1506 or cityrecorder@ci.wilsonville.or.us.



CITY COUNCIL MEETING STAFF REPORT

Meeting Date: August 5, 2019		Subject: Equitable Housing Strategic Plan	
		Staff Member: Kimberly Rybold, AICP, Senior Planner	
		Department: Community Development	
Action Required		Advisory Board/Commission Recommendation	
<input type="checkbox"/> Motion <input type="checkbox"/> Public Hearing Date: <input type="checkbox"/> Ordinance 1 st Reading Date: <input type="checkbox"/> Ordinance 2 nd Reading Date: <input type="checkbox"/> Resolution <input checked="" type="checkbox"/> Information or Direction <input type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input type="checkbox"/> Consent Agenda		<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable	
		Comments: N/A	
Staff Recommendation: N/A			
Recommended Language for Motion: N/A			
Project / Issue Relates To:			
<input checked="" type="checkbox"/> Council Goals/Priorities: Housing Affordability Study and Policy Development	<input type="checkbox"/> Adopted Master Plan(s)	<input type="checkbox"/> Not Applicable	

ISSUE BEFORE COUNCIL:

The project team will provide an update on the progress of the Equitable Housing Strategic Plan project, and will present findings from the draft Housing Market Research Report for City Council review and input.

EXECUTIVE SUMMARY:

In 2016, Wilsonville applied for and received a Metro Community Planning and Development Grant to develop an Equitable Housing Strategic Plan. The primary goal of this project is to identify gaps that are currently present in Wilsonville's housing market and develop a plan with prioritized strategies to fill these gaps, providing Wilsonville residents and employees housing opportunities for different household compositions, ages, and income ranges.

To help identify these gaps, the project consultant team prepared a draft Housing Market Research Report that builds upon the findings of the Clackamas County Housing Needs Analysis project. This draft report (Attachment 1) highlights key factors affecting Wilsonville's housing market, including changing demographics, increased rental costs, and unit type mix of recent construction. At this work session, the project consultant will present the key findings from this report and will provide an opportunity for Council to ask questions and provide additional input. The information in the Housing Market Research Report will help inform the project task force, Planning Commission, and City Council in developing and prioritizing strategies for inclusion in the Equitable Housing Strategic Plan.

The project team is also in the midst of the project's stakeholder engagement phase. On July 17, the Equitable Housing Strategic Plan Task Force held its first meeting, where the project team presented initial findings of the draft Housing Market Research Report and discussed the overall project approach. Throughout July and August, the project team will hold focus groups with local service providers, non-profit housing developers, and employers, and will conduct stakeholder interviews with industry experts to gain insight about housing needs and expanding housing choice within Wilsonville. The project also will make use of the City's new online engagement platform to provide an opportunity for community members to participate in project surveys and provide feedback.

EXPECTED RESULTS:

The draft Housing Market Research Report will be finalized by late August. Additional stakeholder engagement activities will occur throughout August and early September.

TIMELINE:

The project team anticipates City Council involvement in discussion of policies and strategies as the Task Force discusses them in summer-fall 2019. City Council will discuss prioritization of the proposed policies in fall 2019, with a draft strategic plan expected for review in late fall. A final Equitable Housing Strategic Plan is anticipated to be completed in early 2020, with the City Council considering adoption in spring 2020.

CURRENT YEAR BUDGET IMPACTS:

The Professional Services Agreement has a budget of \$62,500 included within the CD Fund in the adopted budget, which is funded through a Metro Community Planning and Development grant with a \$10,000 City match. Staff estimates spending approximately \$50,000 of the remaining Professional Services Agreement contract amount during this fiscal year.

FINANCIAL REVIEW / COMMENT:

Reviewed by: KAK Date: 7/25/2019

Will need \$50,000 budget supplemental to rollover unspent professional and technical services budget from FY 2018-19.

LEGAL REVIEW / COMMENT:

Reviewed by: BAJ Date: 7/29/2019

A few years ago, the City applied for and was awarded an equitable/affordable housing grant from Metro. As a condition of that award, the City agreed to take some definitive action with respect to development of affordable housing or an affordable housing plan. That effort was stalled due to loss of the key staff person working on the project and other priorities in the Planning Department. The project is now being picked up again and this is the first step in beginning the work the City committed to do. This first step will not fulfill the City's grant requirement but it will demonstrate good faith efforts to make some meaningful strides in this important arena that will lead to action that will meet the grant requirement.

COMMUNITY INVOLVEMENT PROCESS:

There will be multiple opportunities for the community to participate in the project. Participation opportunities include an advisory task force, stakeholder interviews, focus groups, and online surveys, in addition to work sessions and public hearings before the Planning Commission and City Council. The project team seeks to provide meaningful stakeholder engagement and will work with stakeholders to make available fair and equitable opportunities to voice needs and opinions for the future of equitable housing development in Wilsonville.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

As a result of this project, the City will have a better understanding of the specific housing gaps that exist within Wilsonville, with a list of policy strategies for the City to pursue aimed at filling these gaps. Pursuit of these strategies will strive to make housing more affordable and attainable for City residents and employees, ensuring Wilsonville provides housing opportunity for different household compositions, ages, and income ranges.

ALTERNATIVES:

The City Council may recommend additional information to be considered for inclusion within the market research report.

CITY MANAGER COMMENT:

N/A

ATTACHMENTS:

1. Draft Housing Market Research Report

City of Wilsonville

Housing Market Research Report

July 2019

DRAFT REPORT

For discussion only. Do not cite or quote.

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ECONOMICS • FINANCE • PLANNING

For over 40 years ECONorthwest has helped its clients make sound decisions based on rigorous economic, planning, and financial analysis. For more information about ECONorthwest: www.econw.com.

ECONorthwest prepared this report for the City of Wilsonville. It received substantial assistance from Communitas, LLC and Commonworks Consulting as well as Kim Rybold at the City of Wilsonville. Other firms, agencies, and staff contributed to other research that this report relied on.

This project is partially funded by a Metro 2040 Grant. That assistance notwithstanding, ECONorthwest is responsible for the content of this report. The staff at ECONorthwest prepared this report based on their general knowledge of housing economics, and on information derived from government agencies, private statistical services, the reports of others, interviews of individuals, or other sources believed to be reliable. ECONorthwest has not independently verified the accuracy of all such information, and makes no representation regarding its accuracy or completeness. Any statements nonfactual in nature constitute the authors' current opinions, which may change as more information becomes available.

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Table of Contents

1	Purpose and Context.....	1
2	Who lives in Wilsonville today?	2
3	What will Wilsonville’s future population look like?	7
4	What are the current housing conditions in Wilsonville?	9
5	What types of housing will future residents need?	22
6	Conclusion	Error! Bookmark not defined.

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1 Purpose and Context

As housing affordability declines in Wilsonville, community members have expressed concern about being displaced or having to move out of the city in search of more affordable rental and homeownership opportunities elsewhere. A number of community members have testified before the Wilsonville City Council about how the large and sudden rent increases threaten community members' housing stability.

To address the community's housing needs now and in the future, the City of Wilsonville has identified the need to establish a roadmap toward a more equitable housing system. Generally speaking, equitable housing means more people are able to find a home that meets their needs for location, price, and household needs. In the midst of a regional housing crisis, Wilsonville is poised to design a strategy that expands opportunities and access for more people to enjoy the quality of living in the city.

The purpose of this Housing Market Research Report is to synthesize background information on the current housing market to support decision making as the City develops its Equitable Housing Strategic Plan. In particular, the report focuses on housing affordability issues and identifies the types of housing that the City should plan for in the future. This analysis draws heavily on the Wilsonville Baseline Housing Needs Assessment, completed as a component of the Clackamas County Regional Housing Needs Analysis in 2019. Based on research and stakeholder outreach the team will conduct throughout Summer 2019, the Task Force and City Council identify which types of programs and policies are relevant to promoting equitable housing in Wilsonville.

The remainder of this document is organized into five sections:

2. Who lives in Wilsonville today?
3. What will Wilsonville's future population look like?
4. What are the current housing conditions in Wilsonville?
5. What types of housing will future residents need?
6. Conclusion

What is equitable housing?

Equitable housing goes beyond simple affordability. It aims to ensure all people have housing choices that are diverse, high quality, physically accessible, and reasonably priced, with access to opportunities, services, and amenities.

This broad definition includes choices for homes to buy or rent that are accessible across all ages, abilities, and incomes and convenient to everyday needs, such as transit, schools, childcare, food, and parks.

Equitable housing also represents a system that accounts for the needs of households with low income and communities of color, recognizes a history of housing discrimination, and complies with current state and federal fair housing policy.

Source: Metro

2 Who lives in Wilsonville today?

Wilsonville has grown quickly, and with that growth has come changing demographics and an increasing need for the City's leadership to focus on existing and future housing needs. From 2014 to 2019, Wilsonville saw a 15% increase in population and an 11% increase in housing units.¹ According to an article recently in the Portland Business Journal, Wilsonville ranks third in the entire state of Oregon in five-year population growth.²

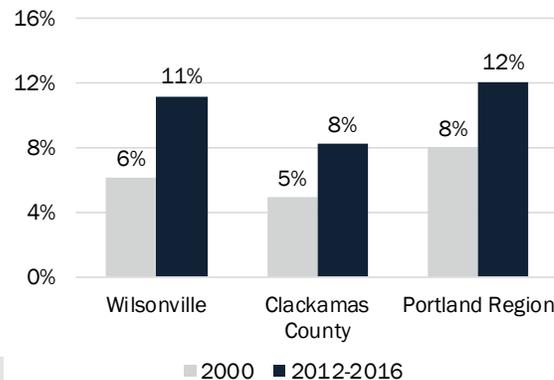
Demographics have changed over the last 20 years.

Wilsonville's Latinx community is expanding.

Between 2000 and 2016, the Latinx population in Wilsonville increased by about 2,000 people, almost doubling from a share of 6% to 11% of the population. Over the same period, the County and Portland Region saw slower growth in this population group. The growth rate of Wilsonville's Latinx population was greater than the growth rate of Wilsonville's population overall.

Exhibit 1. Share of Latinx Population, Wilsonville, Clackamas County, Portland Region, 2000 to 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS Table.



Millennials are a large proportion of Wilsonville residents.

In 2012-2016, 32% of Wilsonville's population was between 20 and 40 years old. This is more similar to the share within the Portland region than in Clackamas County.

Exhibit 2. Population between 20 and 40 years of age, Wilsonville, Clackamas County, Portland Region 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS Table.



¹ 2018 Wilsonville Annual Housing Strategy

² Geigerich, Andy. "List Leaders: These are Oregon's 15 fastest-growing cities." Portland Business Journal. May 13, 2019. <https://www.bizjournals.com/portland/news/2019/05/13/list-leaders-these-are-oregons-15-fastest-growing.html>

Aging Baby Boomers are a small, but not insignificant, population of the city. In 2012-2016, 20% of Wilsonville’s population was over 60 years old. This is a greater share than the Portland region.

Exhibit 3. Population over 60 years of age, Wilsonville, Clackamas County, Portland Region 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS Table.

Wilsonville	Clackamas County	Portland Region
20%	23%	18%

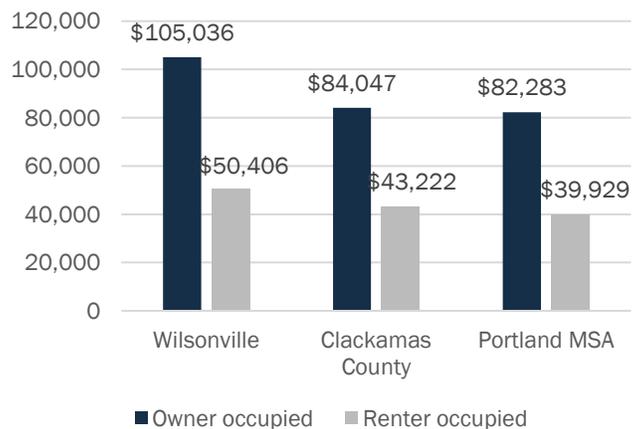
Incomes for owner households are generally higher than renter households.

The median household income for renters, just \$50,000, is less than half the median for homeowners, over \$105,000.

While average incomes in Wilsonville are higher than in the rest of the County and metro area, the magnitude of difference in income between renters and homeowners is similar.

Exhibit 4. Median Household Income by Tenure, 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS Table B25119.



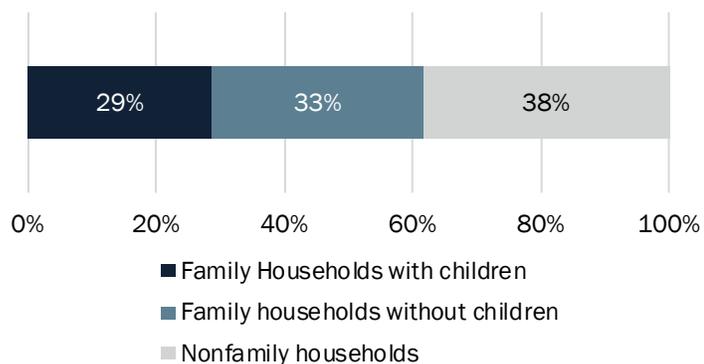
Incomes vary by family type.

The majority of households in Wilsonville are family households. Per the Census,

“Family households consist of two or more individuals who are related by birth, marriage, or adoption, although they also may include other unrelated people. Nonfamily households consist of people who live alone or who share their residence with unrelated individuals.”¹

Exhibit 5. Family and Non-Family Households, Wilsonville, 2012-2016

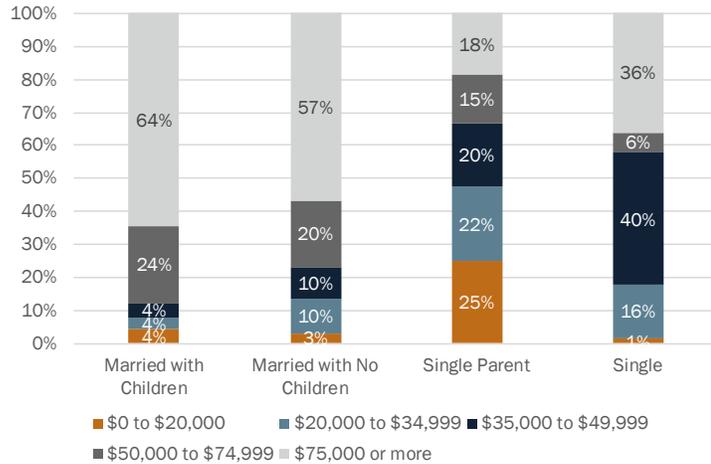
Source: U.S. Census Bureau, 2012-2016 ACS Table B25119.



Of all family types, single parent households in Wilsonville have some of the lowest incomes compared to the amount of housing they need. Two thirds of single parent households have less than \$50,000 in household income per year.

Exhibit 6. Household Income by Family Type, Wilsonville, 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS

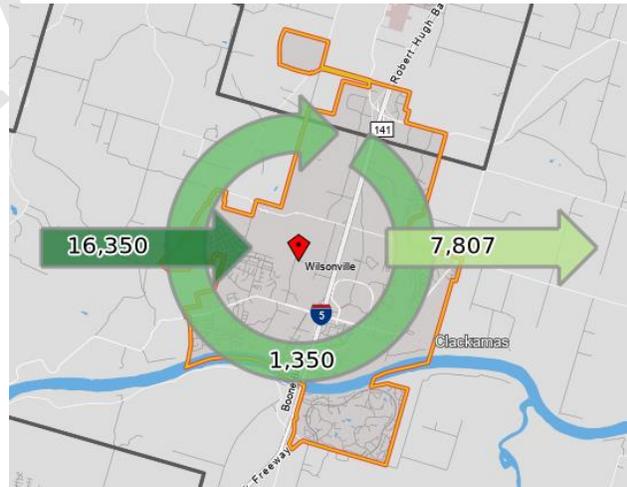


Most Wilsonville residents commute elsewhere to work.

As of 2015³, about 85% of employed residents leave Wilsonville for work, while over 16,000 workers come to Wilsonville from other communities.

Exhibit 7. Commuting Patterns in Wilsonville.

Source: U.S. Census Bureau, Center for Economic Studies, On The Map, 2015.



³ U.S. Census Bureau. 2019. LEHD Origin-Destination Employment Statistics (2002-2015). Washington, DC: U.S. Census Bureau, Longitudinal-Employer Household Dynamics Program, accessed on June 20, 2019 at <https://onthemap.ces.census.gov>. LODS 7.3 [version]. The latest Census data available on commute patterns are from 2015.

Many children attending Wilsonville schools are economically disadvantaged.

There are several schools in Wilsonville with a large share of economically disadvantaged students, which the Oregon Department of Education defines as students eligible for free and reduced price lunch.² In 2016-2017, a family of four qualified for free lunches with a household income of \$31,590, and reduced price lunches with a household income of \$44,955.

Exhibit 8. Share of Economically Disadvantaged Students (per Oregon Department of Education) in Wilsonville Schools.

Source: Oregon Report Card 2016-2017.
<https://www.wlww.k12.or.us/domain/95> and Free and Reduced Price Meal Income Guidelines for School Year 2016-2017
<https://www.ode.state.or.us/wma/nutrition/snp/memos/nspl-income-guidelines.pdf>

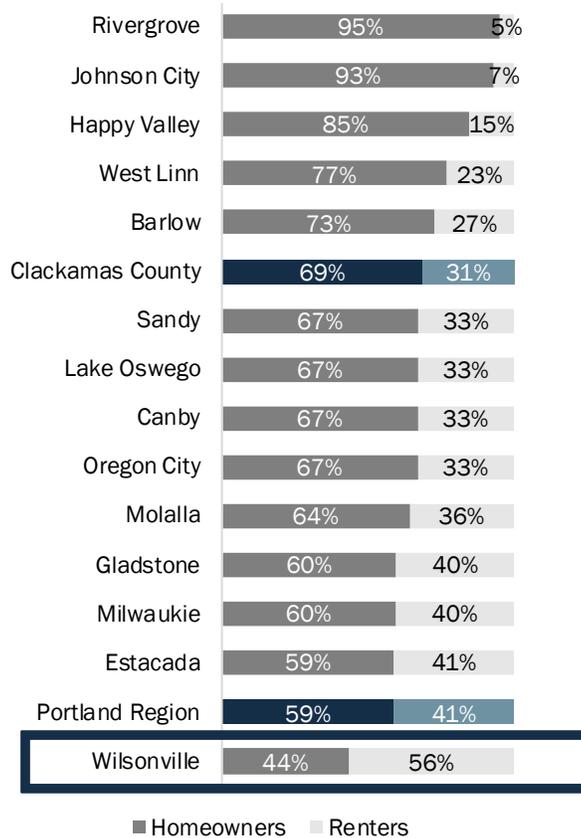
- Arts and Technology High School – 54%
- Boeckman Creek Primary School – 33%
- Boones Ferry Primary School – 40%
- Lowrie Primary School – 21%
- Wilsonville High School – 21%
- Inza Wood Middle School – 30%

The majority of Wilsonville households rent their homes.

In Wilsonville, over half of households rent their homes. In 2012-2016, about 56% of Wilsonville’s households were renters and 44% were homeowners. In every other major city in Clackamas County, the majority of households are homeowners.

Exhibit 9. Housing Tenure, Wilsonville and cities within Clackamas County, 2012-2016

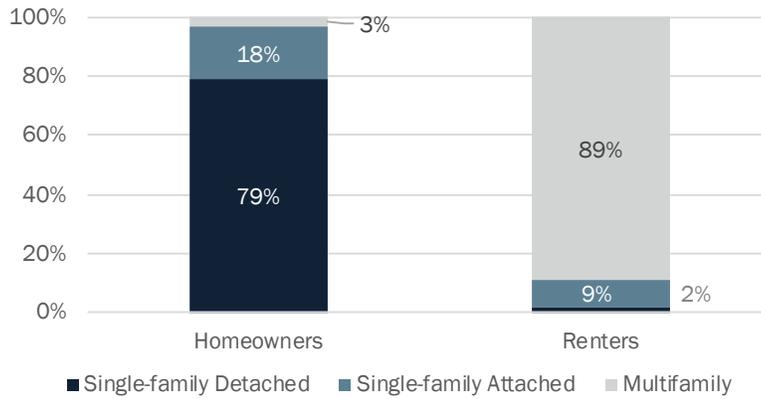
Source: U.S. Census Bureau, 2012-2016 ACS Table B25032.



In Wilsonville, homeowners mostly live in single-family houses, while renters mostly live in apartment buildings.

Exhibit 10. Housing Tenure by Housing Type, Wilsonville and Cities within Clackamas County, 2012-2016

Source: U.S. Census Bureau, 2012-2016 ACS Table B25032.



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3 What will Wilsonville’s future population look like?

Wilsonville is expected to grow by over 3,000 new residents over the next 20 years.

By 2040, Wilsonville is projected to see a 14% increase over the 2019 population. Wilsonville is expected to add 3,373 people in about 1,752 households between 2019 and 2039. In recent years, however, the City has grown faster than Metro forecasts.

About half of new households in Wilsonville are forecast to be low income. These households will need affordable housing options.

This is similar to Clackamas County as a whole, where 47% of households are expected to be low income (with household incomes less than 80% of MFI).⁴

Exhibit 11. Forecast of Population Growth, Wilsonville UGB, 2019–2039

Source: Metro population forecast, 2015.

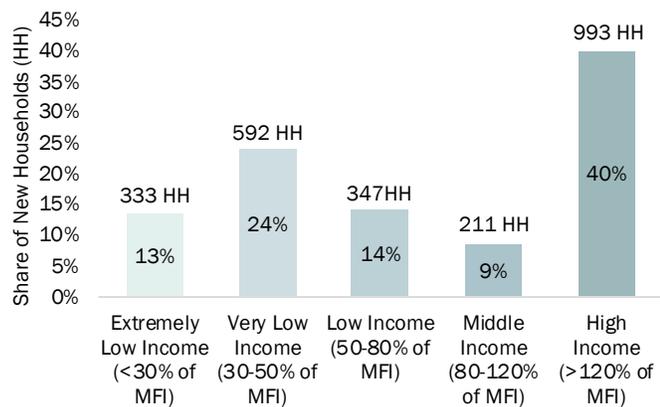
23,492	26,865	3,373	14% increase
Residents in 2019	Residents in 2039	New residents, 2019-2039	0.7% AAGR

Note: This forecast does not account for expected growth that may come as a result of the City’s recent UGB expansion in Frog Pond East and South and the 2019 adoption of the Town Center Plan.³

Exhibit 12. Future New Households in Wilsonville, by Median Family Income (MFI) for Clackamas County (\$81,400), 2019 to 2039

Source: U.S. Department of Housing and Urban Development. U.S. Census Bureau, 2012-2016 ACS Table 19001.

The percentages used below are based on current household income distribution, assuming that approximately the same percentage of households will be in each market segment in the future.



Recent forecasting work from the Portland State University Population Research Center and Metro points to the following trends over the planning period. Since specific estimates for Wilsonville are not available, we used Clackamas County, Portland Region, or Portland MSA trends:

- **More middle-aged Millennials.** Wilsonville currently has a larger share of Millennials than the County. The Population Research Center at PSU estimated future age cohorts by county. By 2040, Millennials will be between 40 and 60 years old. This generation is

expected to grow from 23% of Clackamas County's population to 28% of the County's population. Family households in this age cohort are moving toward becoming "empty nesters" or multi-generation households.

- **A relatively constant share of people over the age of 60.** Between 2020 and 2040, the share of people over 60 years old is expected to stay relatively constant in Clackamas County, from 26% of the population to 27% of the population. However, Metro anticipates for the Portland MSA, the share of heads of households who are 65 and older will increase from 23% to 30% by 2038. Wilsonville will need to plan for a stable to growing share of older households.
- **An increasing share of Latinx households.** Metro's growth forecast projects an increase of about 329,000 new Latinx residents in the region by 2040. This represents 46% of all new residents in the region by that date, and a 116% growth in the share of Latinx residents over 2015.
- **Lower average household sizes.** Metro anticipates that the average household size for the seven-county metropolitan area is expected to drop from 2.6 people per household in 2018 to about 2.4 people per household in 2038. Today (and in 2038), almost two-thirds of households consist of one or two people.⁴ This trend suggests an increased need for smaller housing types.
- **Increasing monthly housing costs.** In its regional Housing Needs Assessment, Metro forecasts that "average monthly housing costs for both owners and renters will continue to increase above historical levels, with the projected increases being particularly acute for owners."⁵ Metro projects that household incomes will not increase as fast as housing costs, which means cost burdens will also increase, with new homeowners experiencing more significant increases than renters. This is because historic sales prices have outpaced growth in rents and household incomes, and this trend is expected to continue.⁵ These results suggest that the need for additional entry-level ownership housing will continue to be strong.

⁴ https://www.oregonmetro.gov/sites/default/files/2018/12/03/2018_UGR-summary-11282018_v2pdf.pdf

⁵ Portland Region Housing Needs Assessment.

<https://www.oregonmetro.gov/sites/default/files/2018/12/04/Appendix5A-HousingNeedsAnalysis.pdf>

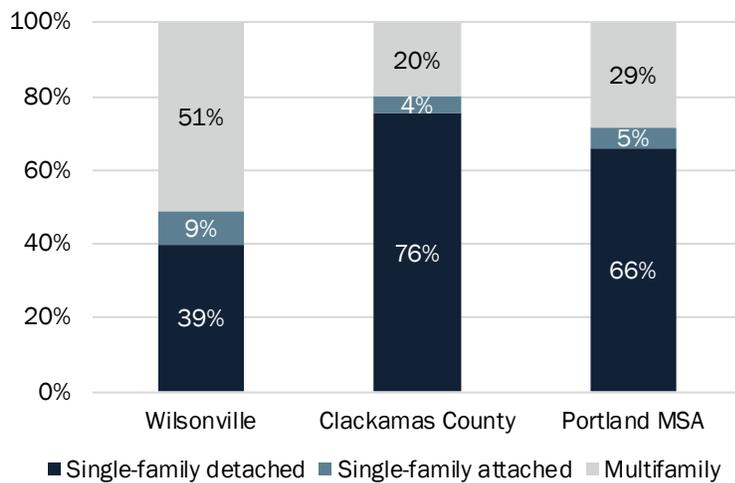
4 What are the current housing conditions in Wilsonville?

Wilsonville has an even mix of multifamily and single-family homes.

Wilsonville has a much larger proportion of multifamily homes than Clackamas County or the region as a whole. About half of all housing units in the city are located in multifamily buildings. Wilsonville also has a greater share of single-family attached units (like townhomes and duplexes) than Clackamas County or the region.

Exhibit 13. Housing Mix in Wilsonville and Comparison Geographies, 2012-2016.

Source: U.S. Census Bureau, 2012-2016 ACS Table B25024.



Census Definitions for Housing Mix

Multifamily housing: “residential buildings containing units built one on top of another and those built side-by-side which do not have a ground-to-roof wall and/or have common facilities (i.e., attic, basement, heating plant, plumbing, etc.)”

Single-family attached: “each must be separated from the adjacent unit by a ground-to-roof wall in order to be classified as a single-family structure. Also, these units must not share heating/air-conditioning systems or utilities.

Units built one on top of another and those built side-by-side that do not have a ground-to-roof wall and/or have common facilities (i.e., attic, basement, heating plant, plumbing, etc.) are not included in the single-family statistics

Source: <https://www.census.gov/construction/nrc/definitions/index.html>

Until recently, the housing mix for new development has been evenly split between multifamily and single-family homes.

Historically housing construction in Wilsonville has included both multifamily units, single-family attached homes (townhomes), and single-family detached homes, with more units overall in apartments and townhomes. Between 2000 and 2012, Wilsonville permitted 2,862 housing units, two-thirds of which (1,892) were multifamily or single-family attached units.⁶ These new developments include market-rate apartments and townhomes, senior living (both assisted and independent), and subsidized affordable housing (including some designated for seniors or others for people of all ages with disabilities).

Most new home construction between 2014 and 2017 has been in the Villebois neighborhood, which is required to build about one third of the units as multifamily housing. Some of these units must come with affordability requirements under the City's development agreement with the State of Oregon, which allowed the former state hospital to be converted into a mixed-income neighborhood.⁷

However, more single-family homes have been built in recent years. The construction of additional single-family units has helped to balance the city's overall housing inventory, which has been weighted towards multifamily homes. In 2016 and 2017, no multifamily units were permitted. In 2018, 70% of permits approved were for single-family homes, including attached and detached rowhomes, and 30% were for multifamily units.⁸

Wilsonville's development code characterizes attached single-family units as multifamily: "Dwelling, Multiple Family: Three or more attached dwelling units located on a single tax lot. In the Village zone, such use also includes stacked flats or townhouses"

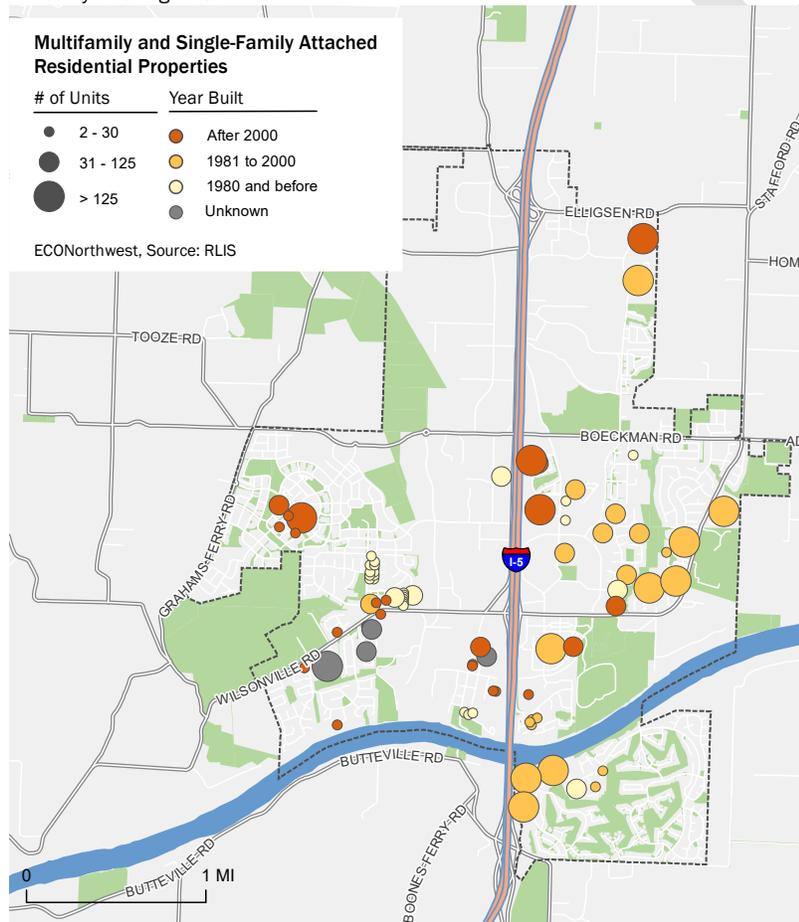
Source: City of Wilsonville

Wilsonville’s multifamily and single-family attached housing stock is well-distributed across the city, and close to services.

Metro’s Regional Land Information System (RLIS) data shows the distribution of multifamily and single-family attached units are in the city. Exhibit 14 shows where multifamily units—both ownership and rental buildings—are located in Wilsonville as well as the age and relative size of each complex. Much of Wilsonville’s multifamily housing stock is concentrated near the Town Center, where the majority of housing was built between 1981 and 2000. Town Center has a concentration of services, shops, and amenities. Newer multifamily and single-family attached housing development is concentrated in Villebois and several complexes in the core of Wilsonville.

Exhibit 14. Distribution of Multifamily and Single-Family Attached Residential Units, Wilsonville, 2019

Source: Metro RLIS. Note: RLIS data includes multifamily unit types as well as single-family attached types like townhomes, duplexes, and accessory dwelling units.



The city has a limited stock of subsidized affordable housing.

About 11% of Wilsonville residents live in subsidized housing. As of 2018, Wilsonville had 449 subsidized, affordable units in 12 developments. The majority of these units are reserved for families; two developments are reserved for seniors. The subsidies and affordability regulations for these units come from programs such as the low-income housing tax credit and the City's tax abatement. These units serve residents making between 30% and 60% of area median income. Exhibit 15 shows the total number of subsidized units in Wilsonville as of 2018.

Exhibit 15. Government-Subsidized Affordable Housing, Wilsonville, 2018

Source: Oregon Housing and Community Services. Note: Two of these developments are accessible to residents through referral only (Rain Garden and Renaissance Court). This is because they serve residents with specific needs.

Development Name	Total Units	Total Affordable Units	Population Served
29875 SW Montebello Dr	1	1	Family
29885 SW Montebello Dr	1	1	Family
Autumn Park	143	140	Family
Beaver State - Montebello	50	41	Family
Charleston Apts	52	52	Family
Creekside Woods	84	44	Senior
Duck Country - Wilsonville Heights	24	24	Family
Hearthstone	5	5	Low income
Montecino	34	34	Family
Rain Garden	29	29	Low income, Referral Only
Renaissance Court	20	20	Low income, Referral Only
Wiedemann Park Apts	58	58	Senior
Totals	501	449	

Unregulated homes may be affordable to some renters, but prices are subject to market fluctuations. In these homes, rents are subject to market conditions, which generally means they have been increasing. There are no Wilsonville-based policies in place to preserve their affordability or protect tenants from displacement if they cannot afford a rent increase levied by their landlords. However, Senate Bill 608 was passed in 2019 which includes the following provisions:

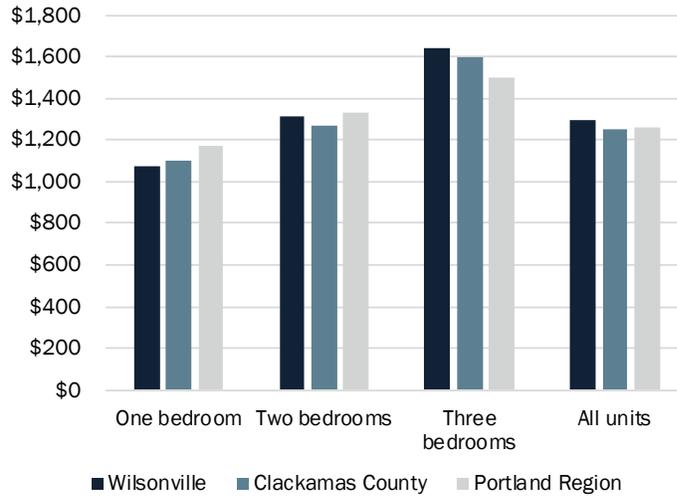
- Annual rent increases are limited to 7% plus the Consumer Price Index for the past 12 months. This applies to buildings over 15 years old.
- No-cause evictions are now limited to one of these four reasons:
 - Sale of the home to a new owner who will move-in
 - If the landlord or a family member will move-in
 - To address a significant repair or renovation of the unit
 - If the rental will no longer be used for residential use⁹

Wilsonville’s multifamily rental housing market trends mirror the Portland region.

On average, rents for one-bedroom units in Wilsonville are less than Clackamas County or the region, while larger units have similar or slightly higher rents than those in Clackamas County and the region.

Exhibit 16. Apartment Rents, by Bedroom Count, Wilsonville, Clackamas County, Portland Region, 2018.

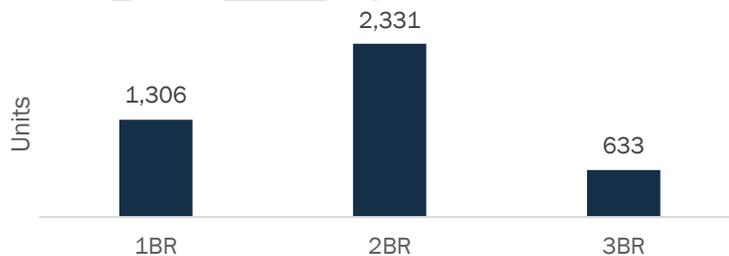
Source: CoStar.



Most multifamily rental housing units in the city are smaller one- and two-bedroom units. Of 4,270 housing units in Wilsonville, about 31% have one bedroom, almost 55% have two, and only 15% have three.

Exhibit 17. Housing Unit Size, Wilsonville. 2019.

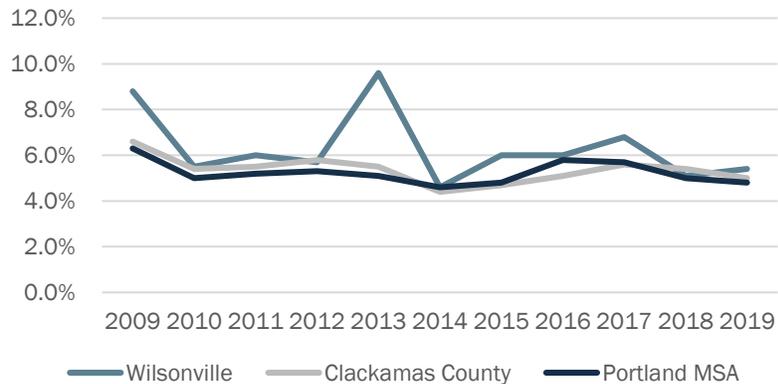
Source: CoStar



Multifamily vacancies in Wilsonville are average for the region. After some volatility during the recession, vacancy rates have settled at 5.4% in 2019, mirroring trends in the region, with vacancy rates of 5% for the Portland MSA and 4.8% for Clackamas County.

Exhibit 18. Multifamily Vacancy Rates in Wilsonville and Comparison Geographies, 2009-2019.

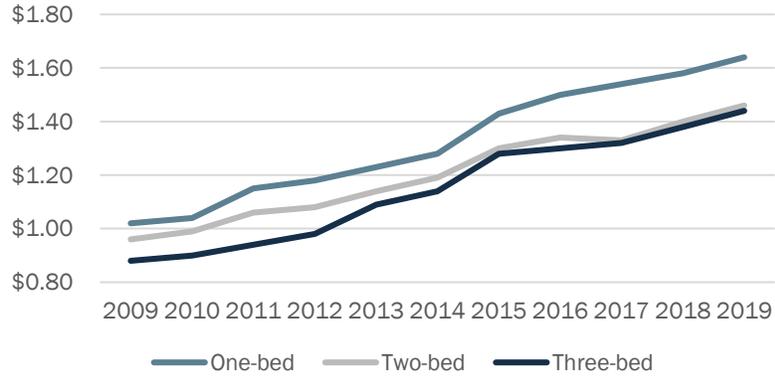
Source: CoStar



Apartment rents per square foot have been rising at similar rates across unit sizes. While one-bedroom apartments are still more expensive on a per square foot basis than larger units, the prices are rising at similar rates as for two- and three-bedroom apartments.

Exhibit 19. Wilsonville Apartment Rents per Square Foot, by Bedroom Count.

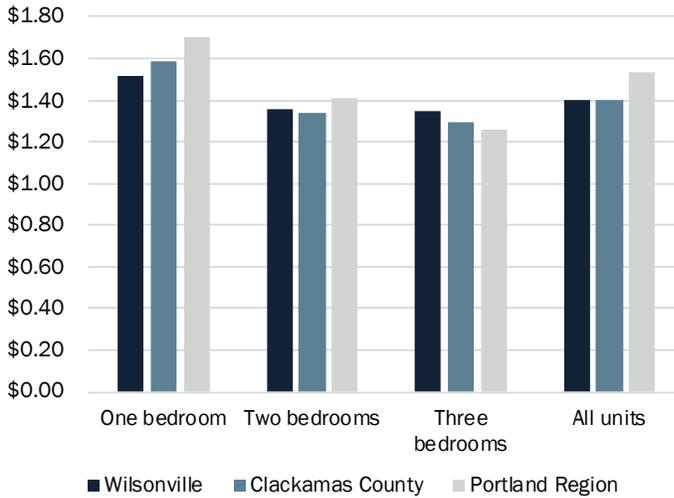
Source: CoStar.



Rents for Wilsonville’s one bedroom units are less expensive than the County or region, while three bedroom units are more expensive.

Exhibit 20. Apartment Rents Per Square Foot, by Bedroom Count, Wilsonville, Clackamas County, Portland Region, 2018.

Source: CoStar.

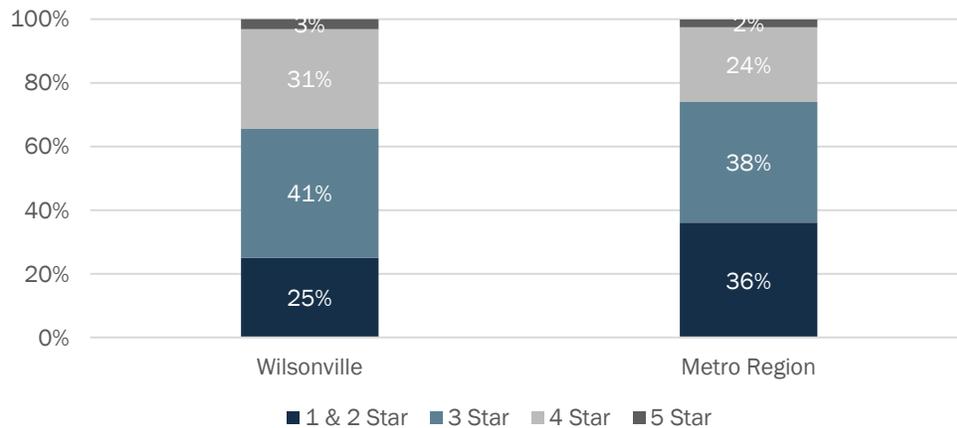


Wilsonville’s multifamily housing stock is relatively high-quality compared to the region.

According to CoStar, a multi-national commercial real estate information company, over one-third of Wilsonville’s multifamily housing stock is high-quality, compared to only one-quarter in the Portland region. This difference is mostly explained by the city’s relative lack of housing that CoStar⁶ rates as lower-tier.

Exhibit 21. Costar Quality Ratings for Multifamily Buildings in Wilsonville and Metro Region housing.

Source: CoStar.



Wilsonville’s higher quality multifamily housing stock results in higher rental prices compared with communities with a greater share of low-cost market rate rentals. On the other hand, Wilsonville may be less likely to see as much repositioning of its multifamily housing stock. This is the result of investors buying low-cost apartment complexes, making improvements, and increasing the rents at higher than average market rates.

⁶ The CoStar Building Rating System provides a national rating for buildings. Properties are evaluated and rated using a 5-star scale based on the characteristics of each property type, including: architectural attributes, structural and systems specifications, amenities, site and landscaping treatments, third party certifications and detailed property type specifics. More information on CoStar’s website: https://www.costar.com/docs/default-source/brs-lib/costar_buildingratingsystem-definition.pdf?sfvrsn=12a507a4_2

Many residents cannot afford their housing costs.

Many residents are paying more than 30% of their income on housing. Almost a quarter (23%) of all households in Wilsonville are cost burdened, defined as spending more than 30% of their income on housing costs. Renters are particularly impacted: 42% are cost burdened or extremely cost burdened (spending more than 50% of their income on housing costs).

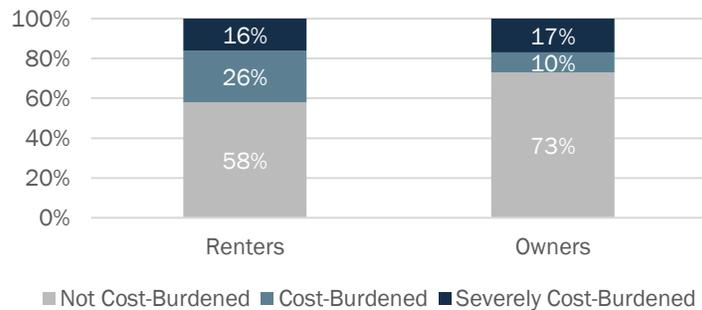
Low-income households are particularly likely to be cost burdened.

Cost burden is a particularly pressing issue amongst renters. Disparities in income between current residents who rent and own their homes exacerbate the issue of housing cost burden, as renters have less income to begin with and are also paying too much of these limited resources on housing costs.

Rents are relatively less affordable in Wilsonville than in Clackamas County. When comparing household incomes to the median rent, Wilsonville's rental housing stock is relatively more expensive than the county as a whole.

Exhibit 22. Housing Cost Burden in the City of Wilsonville by Tenure, 2012-2016

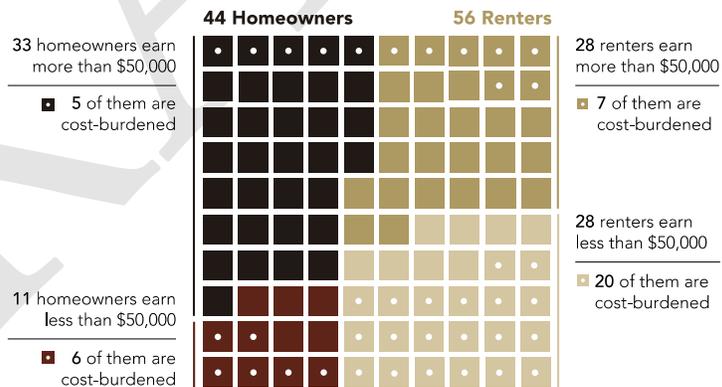
Source: U.S. Census Bureau, 2012-2016 ACS Table B25091 and B25070.



Almost 8 of 10 households that earn less than \$50,000 per year in Wilsonville are cost burdened.¹⁰

Exhibit 23. Illustration of Cost Burden if all of Wilsonville's Households were 100 Residents

Source: U.S. Census Bureau, 2012-2016 ACS Table S2503.



A household can start to afford Wilsonville's median rents at about 70% of Wilsonville's median household income (\$44,167).

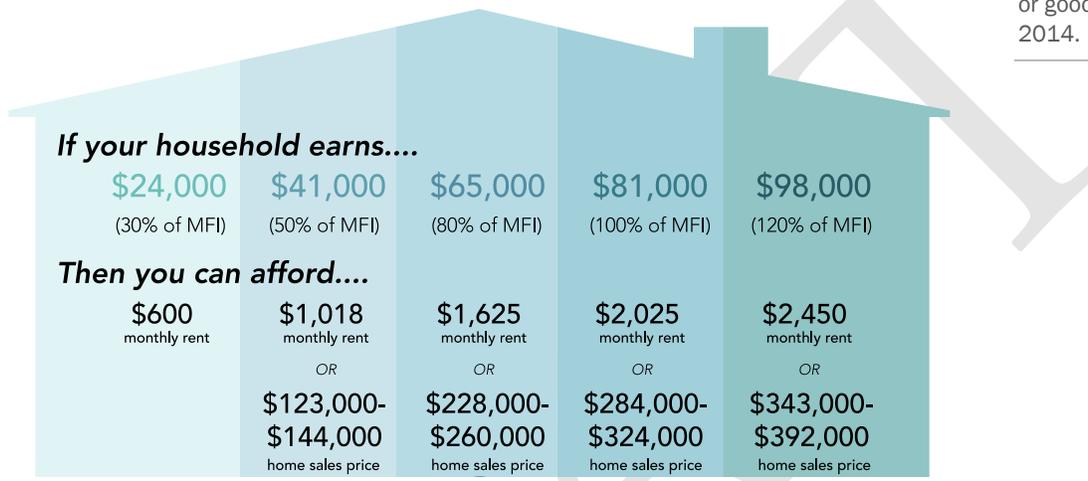
A household can start to afford Clackamas County's median rents at about 61% of County median household income (\$41,349).

Low-income households have very few options for either homeownership or rental. Exhibit 24 provides an overview of what households at different incomes can afford in terms of monthly rent or home sales price. It also provides examples of annual salaries for different job types that fall into each income bracket.

Exhibit 24. Financially Attainable Housing, by Median Family Income (MFI) for Clackamas County (\$81,400), Clackamas County, 2018

Source: U.S. Department of Housing and Urban Development 2016. U.S. Census Bureau, 2012-2016 ACS Table 19001, Bureau of Labor Services, Portland MSA, 2018, Note: MFI is Median Family Income, determined by HUD for Clackamas County.

Wilsonville’s residents are dissatisfied with the availability of reasonably-priced housing. The City’s 2018 Community Survey concluded that only 38% of residents rated the availability of affordable quality housing as excellent or good, down from 47% in 2014.

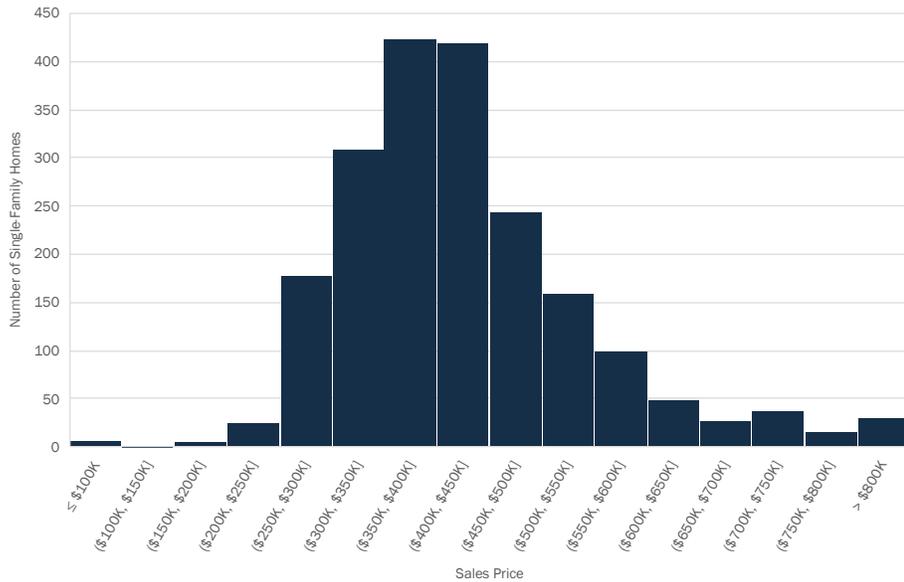


Homeownership is out of reach for many of Wilsonville’s current residents.

In the past five years, Wilsonville saw few single-family homes sell below \$300,000. Just 10% of homes sold for under \$300,000.

Exhibit 25. Single-Family Home Sales Price Distribution, Wilsonville, 2015-2019

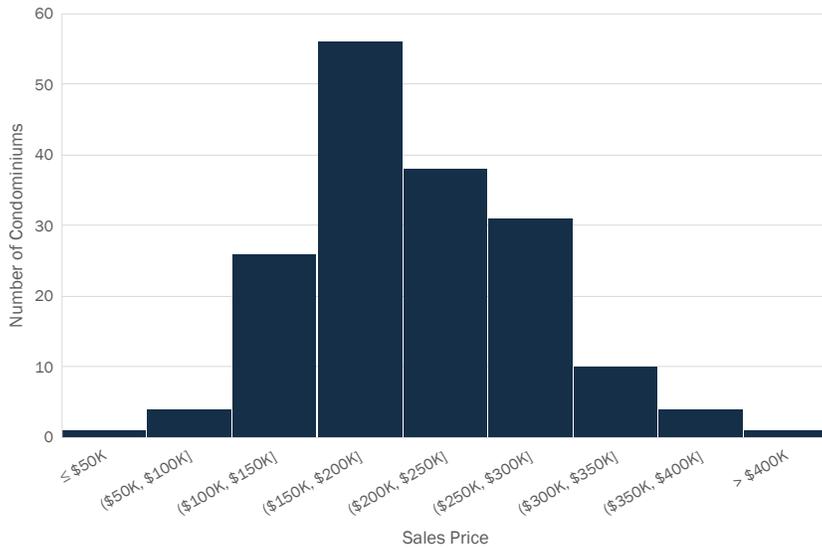
Source: Oregon Metro, Taxlots data, 2015-2019. N = 2,034. Includes single-family detached and attached housing types.



Condominiums had somewhat lower sales prices, with most selling for under \$300,000. However, there were only 171 sales of condos over the past five years.

Exhibit 26. Condominium Sales Price Distribution, Wilsonville, 2015-2019

Source: Oregon Metro, Taxlots data, 2015-2019. N = 171



A family making the median income for a renter household could afford homes valued between about \$221,000 to \$252,000 (based on a range of financing assumptions), but the median home sales price in the city was almost double, at \$454,500, in February 2019.⁷

A household can start to afford the median home sales price (\$454,500), at:

Wilsonville:
185%
of Wilsonville's
median household income
(\$116,550).

Clackamas County:
152%
of County
median household income
(\$105,000).

In addition to high home sales prices, there are ongoing costs of homeownership. Most residential neighborhoods in Wilsonville have an homeowners association (HOA), which levies fees that can add to housing costs. An HOA is an organization in a subdivision, planned community or condominium that makes and enforces rules for properties. Those who purchase a house within an HOA's jurisdiction become members and must pay dues. These costs can add hundreds of dollars to monthly housing costs.

⁷ Source: Redfin, Property Radar.

Wilsonville has few starter homes, which means would-be homeowners may be renting for longer.

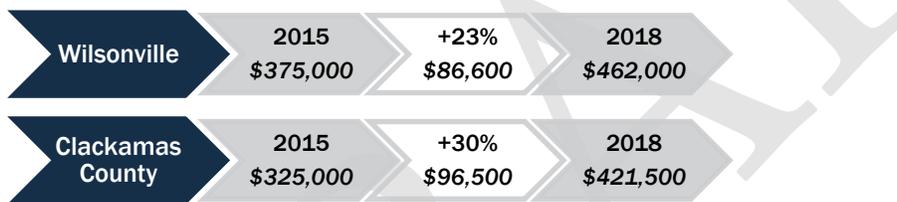
Homeownership is generally out of reach for most first-time buyers. The median housing sales price in September 2018, \$462,000, indicates that few entry-level homes are available for sale in Wilsonville. Prospective homeowners are likely renting for a longer period of time, perhaps bypassing the starter home stage and seeking instead to buy a “forever” home. This can be due to the many costs of acquiring a home, primarily the down payment and closing costs.

The average home in Wilsonville costs 31% more than what the average household can afford.¹¹

Despite high home costs in Wilsonville, prices are increasing at a slower rate than in the County. From 2015 to 2018, the median home price increased only 23% in Wilsonville compared to 30% in Clackamas County.

Exhibit 27. Median Home Prices in Wilsonville and Clackamas County, 2015-2018.

Source: Property Radar.



An entry-level home, or starter home, is a home accessible to a first-time homebuyer, often smaller and on the less expensive side of the market. Trulia defines a starter home as one priced in the lowest third of the local market, which in Wilsonville's case is up to about \$350,000 as of 2019. Typically starter homeowners trade up to a bigger home in about five years.

Overall, there is little housing affordable to those at the low end of the income spectrum.

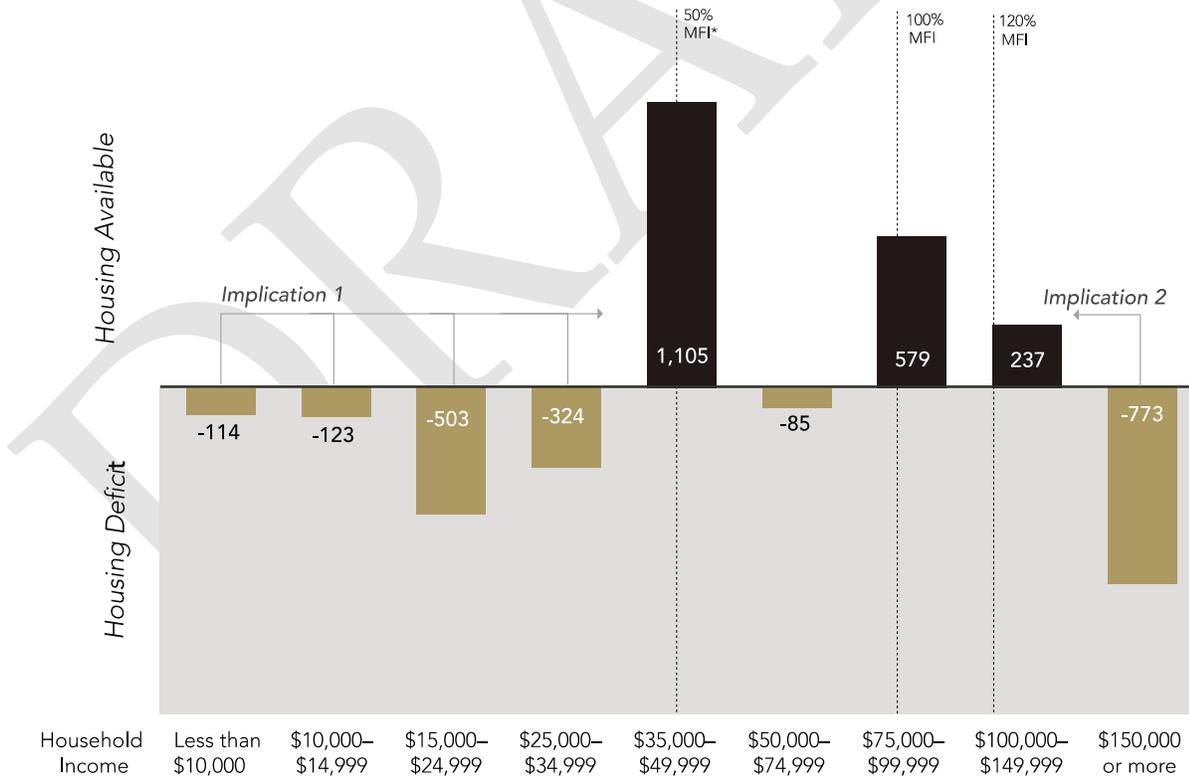
Wilsonville currently has a deficit of housing for households earning less than \$35,000. The housing types that Wilsonville has a deficit of are more affordable housing types such as apartments, duplexes, tri- and quad-plexes, manufactured housing, and small, clustered single-family detached housing (e.g. cottages).

Exhibit 28 compares the number of households by income level with the number of units affordable to those households in cities within Clackamas County. Many lower-income households are living in expensive homes because of a deficit in units that they can afford (Implication 1). On the other end of the spectrum, some higher-income households are spending less than they could afford on housing, either because of preference, the timing of when they started renting or owning their home, or because of a lack of high-end housing stock (Implication 2).

The pattern is similar for low-income households in Clackamas County.¹²

Exhibit 28. Housing Costs and Units by Income Level, All Households, Wilsonville, 2018.

Source U.S. Census Bureau, 2012-2016 ACS. Note: MFI is Median Family Income, determined by HUD for the Portland MSA.



5 What types of housing will future residents need?

In the future, Wilsonville will need a wider range of housing types and price points.

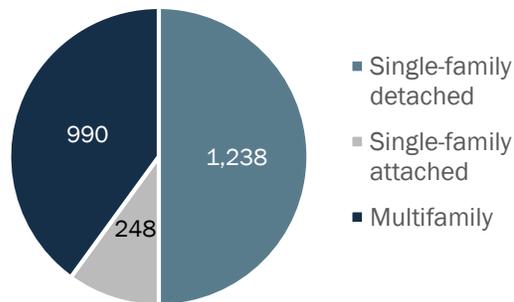
Over the next 20 years, the city will need a **wide range of housing types and housing that is affordable to households at all income levels** to accommodate an estimated 3,373 new residents by 2039. This conclusion is consistent with housing need in other cities in Clackamas County, the Portland Region, and most cities across the state.

This need largely originates in above-described demographic changes, where **Baby Boomers, Millennials, and Latinx families** will be increasingly important groups seeking housing. All three groups seek **affordable housing options, but may have different requirements for unit types and sizes**. Housing needs and preferences change for households in predictable ways over time, such as with changes in marital status, age, and size of family. However, income is the biggest driver of housing type choice. Both single-family attached and multifamily units will likely appeal to the growing demographic groups because they are less expensive and easier to maintain than single-family detached homes.

It is projected that Wilsonville will have demand for 2,476 new dwelling units over the next 20 years, and Wilsonville has land capacity for 2,377 units over that same period (not including the recently expanded UGB area of Frog Pond South and East).⁸

Exhibit 29. Forecast of demand for new dwelling units, Wilsonville Planning Area, 2019 to 2039

Source: Calculations by ECONorthwest



⁸ The HNA's forecast for Frog Pond East and South is based on Metro Ordinance 18-1427⁸ which says Wilsonville must plan for a minimum of 1,325 dwelling units in Frog Pond East and South. However, this area was not included within the HNA's housing growth in the forecast for Wilsonville Planning Area because this UGB expansion was not yet acknowledged by the Land Conservation and Development Commission at the time of publication.

Exhibit 30. Implications for Future Housing Types from Increased Population Growth and Demographic Changes

Source: Population Research Center and ECONorthwest.

Future Trends	What could this mean for future housing types?
A growing city.	<ul style="list-style-type: none"> To accommodate these new households, an average of 124 new units will need to be built each year.
More middle-aged Millennials.	<ul style="list-style-type: none"> Homeownership rates for Millennials will increase as they continue to form their own households. There will likely be increased demand for relatively affordable housing types, for both ownership and rental types, over the next 20 years. Some older Millennials with families may become empty nesters who need smaller units. Others may want housing to accommodate a three-generation family. <p><i>Source: Clackamas County HNA (page 54 and page 315)</i></p>
A relatively constant share of people 60+.	<ul style="list-style-type: none"> The aging of the Baby Boomers may have a smaller impact in Wilsonville than in some cities in the County because Wilsonville has a smaller share of people over 60 years of age. The city will be affected by retirement and changing housing needs of seniors as their households get smaller and their lifestyles change. While most Baby Boomers prefer to stay in their current homes as long as possible, some Baby Boomers may choose to downsize into smaller homes and seek homes where they can age in place (often single-story with easy access to services and amenities). Due to health or other issues, some Baby Boomers may become unable to stay in their current homes and will choose to live in multigenerational households or assisted-living facilities (at various stages of the continuum of care). <p><i>Source: Clackamas County HNA (page 53 and page 315)</i></p>
A steady or increasing share of Latinx households.	<ul style="list-style-type: none"> Continued growth in Latinx households will increase need for larger units (to accommodate larger, multigenerational households) and relatively affordable housing. <p><i>Source: Clackamas County HNA (page 316)</i></p>

The key finding from the data above is that Wilsonville will need to continue to offer a diverse array of housing types, at a range of price points. Given decreases in average household sizes and a stable to increased share of older households, there will be more demand for smaller, attached housing types and multifamily housing.

The City has diverse housing types and is planning for a mix of unit types in its growth areas.

Much of the current residential growth in Wilsonville is taking place in the Villebois neighborhood on the west side of I-5, but a handful of other smaller pockets of development are under construction as well. Primary future growth areas for the community include the Frog Pond and Town Center Planning Areas, which are both on the east side of I-5.

This section summarizes information from the Wilsonville Baseline Housing Needs Analysis, which is included as Appendix A.

Key Growth Areas

Frog Pond

Development of Frog Pond, an area designated to transition from rural to urban development, will take time, given the need to extend utilities and build infrastructure to serve houses. Engineering and construction plans for Frog Pond West are underway, with an expectation that the first homes will be available starting in 2019. Frog Pond West will include mostly single-family detached housing types, with some single-family attached units. The rest of the Frog Pond Area – Frog Pond South and East – is expected to contain some attached housing and cottage clusters, with the majority of the Frog Pond Area planned for single-family detached housing. Timing for moving forward on Frog Pond South and East is not entirely known, but, following master planning of this area, it is expected that building of the first homes in the area will not likely begin until after 2024.¹³ Ultimately, infrastructure extensions, market response to Frog Pond West, and overall housing demand will determine the timing for Frog Pond South and East.

The forecast for Frog Pond East and South is based on Metro Ordinance 18-1427, which says Wilsonville must plan for a minimum of 1,325 dwelling units in Frog Pond East and South. However, the Baseline HNA for Wilsonville did not include Frog Pond East and South housing growth in the forecast for Wilsonville Planning Area because this UGB expansion has not yet been acknowledged by the Land Conservation and Development Commission.

Town Center

The Wilsonville Town Center area is already built, but there is a newly adopted plan that anticipates infill and redevelopment of much of the area that could result in up to 880 new units within a 20-year timeframe. Almost all of the new housing in the Town Center is expected to be attached single family or multifamily housing, much of which will be co-located with retail and office uses in modern, mixed-use buildings. Timing for the infill and redevelopment will be determined by private property owners, their business plans, and market demand for a more urban living experience in the center of Wilsonville.

Villebois

On the west side of the city, Villebois is a mixed-use community that contains single-family detached housing, single-family attached housing, duplexes, row houses, multifamily housing, and cluster housing. Villebois will be nearing full build-out in the next few years.

Other Neighborhoods

Infill may be possible in some areas outside of Villebois, the Town Center, and the UGB expansion areas. There could be an opportunity for accessory dwelling units, but most neighborhoods are planned developments with Covenants, Conditions, and Restrictions that could make infill more challenging.

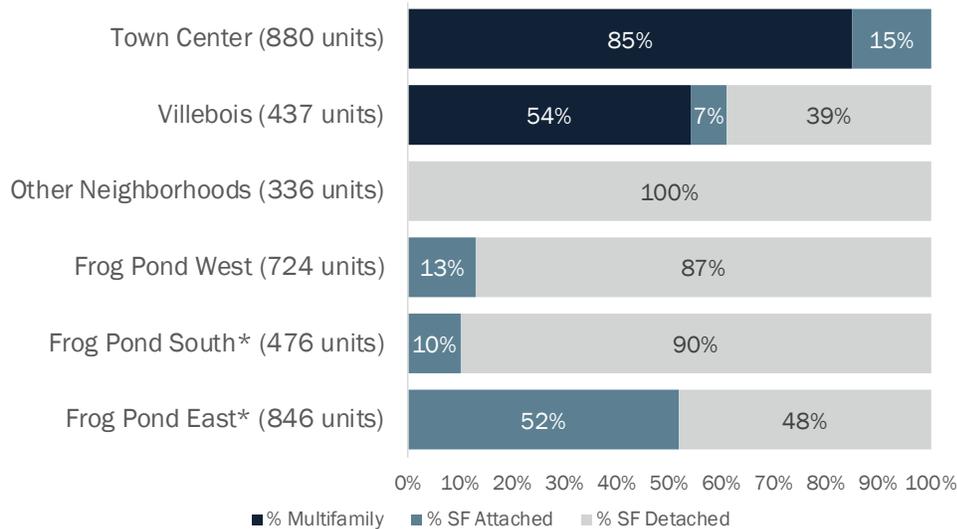
Summary of Capacity by Neighborhood

In 2019, the City of Wilsonville received a baseline Housing Needs Analysis as part of a broader project to assess housing needs across Clackamas County (for details, see Appendix A). It is expected that most new homes will be built in the existing neighborhoods of Villebois and Town Center, and the new Frog Pond West growth area. The analysis also assumes that vacant residential land in other existing Residential Neighborhoods will be built, at historical densities, over the next 20 years.¹⁴

Exhibit 31. Summary of Estimated Capacity and Housing Mix within Wilsonville Planning Areas, 2019 to 2039

Source: Buildable Lands Inventory; Frog Pond Concept Plan (2015), Wilsonville Staff, Calculations by ECONorthwest.

Note: Capacity matches demand in Villebois, Town Center, and Frog Pond West. Land in Residential Neighborhoods includes vacant and partially vacant land. For this housing market research report, we have added in calculations for Frog Pond South and East. See page 4 of Appendix X: Wilsonville Baseline Housing Needs Analysis for a map of these areas.



* Not included in Baseline HNA Calculations.

6 Conclusion

This housing market research report provides a compendium of information to City leadership to support future decision making for the Equitable Housing Strategic Plan. The analysis found that the City has proactively planned for a mix of housing types across its planning areas, but increasing rents and home sales prices in the Portland region continue to exacerbate affordability in Wilsonville. The City is expected to grow by over 3,000 people in the next 20 years, many of whom will be interested in diverse, affordable housing types. These issues point to a need for a proactive roadmap toward achieving more equitable housing now and into the future.

The Plan will build on this base of information to identify implementation actions that the City should take to address current housing issues and plan for future housing. In future phases of the work, the City should take the following considerations into account:

- Affordability Considerations.** Housing prices are a regional issue that also must be addressed at the local scale. Many residents in the city are paying more than 30% of their income towards housing. This is especially true for lower income renters. Contributors to development costs such as parking requirements, on-site amenities, extending water and sewer lines into new growth areas, and escalating construction costs have significant implications as to what housing types get built and where the rent or sales price needs to be set. Similarly, residents' incomes are not keeping pace with rising housing costs. Many residents who would like to own a home struggle to save enough to cover down payment and closing costs, and avoid being cost-burdened by the mortgage payment, insurance and property taxes, and monthly homeowner fees.
- Unit Type Considerations.** The demographic changes that Wilsonville will see over the next 20 years point to a need for planning a broad range of housing types for owners and renters with a wide range of price points. This conclusion is consistent with housing need in other cities in Clackamas County, the Portland Region, and most cities across the State. Compared to the rest of the county, Wilsonville has done a commendable job of promoting a diversity of housing types in the past, but recent trends point to a growing production of single-family detached units. Going forward, Wilsonville will need to continue to ensure a range of housing types are developed, such as: small single-family detached housing (e.g., small-lot single-family and cottage clusters), townhouses, duplexes and quad-plexes, and apartments. Wilsonville is planning for these housing types in areas like Villebois and Town Center. However, in the Town Center, it will take time before market conditions improve for multifamily development and the City carries out its Town Center Plan. The Frog Pond Planning Area includes new single-family attached types, which will meet an important need among future residents. Going forward, Wilsonville will need to ensure that these plans and their goals are fully implemented.

- **Access to Services, Amenities, and Transit.** Given Wilsonville’s relatively small size, much of Wilsonville’s housing is within easy reach of services, amenities, and transit. However, new planning areas are located farther from the city’s core and existing city services and amenities. Frog Pond West is planned to develop as predominately single-family detached neighborhoods, without the addition of retail amenities or services. The Town Center is the city’s commercial core with unrealized capacity to develop into a dynamic, amenity-rich center that could appeal to growth populations – Millennials, Baby Boomers, and Latinx populations.

Structural Considerations. Finally, Metro’s definition of equitable housing is, *“Equitable housing also represents a system that accounts for the needs of households with low income and communities of color, recognizes a history of housing discrimination, and complies with current state and federal fair housing policy.”* ECONorthwest and its partners will be conducting stakeholder outreach to uncover findings related to the structural gap – how welcome do people feel in Wilsonville’s housing market? What kinds of barriers to people have in getting financing or making a security deposit? Have people encountered discrimination when looking for or locating in a home? Addressing these structural issues is important to achieving a balanced plan that meets the needs of Wilsonville’s diverse residents.

The Equitable Housing Strategy Plan should seek to address each of these considerations. The consultant team will use the research along with findings from the stakeholder outreach to develop a set of implementation actions in the final Equitable Housing Strategic Plan.

¹ <https://www.census.gov/programs-surveys/cps/technical-documentation/subject-definitions.html>

² The Oregon Department of Education Child Nutrition Programs provides income guidelines by household size for free and reduced price meals for students in schools. In 2016-2017, students qualified for free lunch at the following income levels: 2 people (\$20,826), 3 people (\$26,208), 4 people (\$31,590). Students qualified for reduce lunch prices at the following income levels: 2 people (\$29,637), 3 people (\$37,296), 4 people (\$44,955).

³ Wilsonville HNA, 2019.

⁴ Clackamas County Baseline Housing Needs Assessment, 2019. Page 73.

⁵ Clackamas County Baseline Housing Needs Assessment, 2019.

⁶ Wilsonville Residential Land Study

⁷ Villebois Village Master Plan.

https://www.ci.wilsonville.or.us/sites/default/files/fileattachments/planning/page/84681/villebois_village_master_plan.pdf.

⁸ 2018 Wilsonville Annual Housing Report

⁹ <https://olis.leg.state.or.us/liz/2019R1/Downloads/MeasureDocument/SB608/Introduced>

¹⁰ 2018 Wilsonville Annual Housing Report

¹¹ 2018 Wilsonville Annual Housing Report

¹² Clackamas County Baseline Housing Needs Assessment, 2019. See Exhibit 67 on page 75.

¹³ In addition to the capacity in the areas mentioned above, Frog Pond East and South are new additions to the Metro Urban Growth Boundary with housing expectations defined in Metro's growth boundary (refer to Metro Ordinance 18-1427 at <http://rim.oregonmetro.gov/Webdrawer/Record/558717>). The growth decision says Wilsonville must plan for a minimum of 1,325 dwelling units in Frog Pond East and South. However, as of June 2019, this UGB expansion has not yet been acknowledged by the State of Oregon Land Conservation and Development Commission. Therefore, ECONorthwest has not included Frog Pond East and South housing growth in the forecast for Wilsonville.

¹⁴ Assumption for future mix is based on requirements on OAR 660.007 that require the City.... OAR 660-007-0030(1) requires "(1) Jurisdictions other than small developed cities must either designate sufficient buildable land to provide the opportunity for at least 50 percent of new residential units to be attached single family housing or multiple family housing or justify an alternative percentage based on changing circumstances. Factors to be considered in justifying an alternate percentage shall include but need not be limited to: (a) Metro forecasts of dwelling units by type; (b) Changes in household structure, size, or composition by age; (c) Changes in economic factors impacting demand for single family versus multiple family units; and (d) Changes in price ranges and rent levels relative to income levels. (2) The considerations listed in section (1) of this rule refer to county-level data within the UGB and data on the specific jurisdiction."



CITY COUNCIL MEETING STAFF REPORT

Meeting Date: August 5, 2019	Subject: Declaration of an Emergency – Training and Exercise Staff Member: Martin Montalvo, Public Works Operation Manager Department: Public Works and Legal	
Action Required	Advisory Board/Commission Recommendation	
<input type="checkbox"/> Motion <input type="checkbox"/> Public Hearing Date: <input type="checkbox"/> Ordinance 1 st Reading Date: <input type="checkbox"/> Ordinance 2 nd Reading Date: <input type="checkbox"/> Resolution <input type="checkbox"/> Information or Direction <input checked="" type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input type="checkbox"/> Consent Agenda	<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable Comments: N/A	
Staff Recommendation: N/A		
Recommended Language for Motion: N/A		
Project / Issue Relates To:		
<input type="checkbox"/> Council Goals/Priorities:	<input type="checkbox"/> Adopted Master Plan(s):	<input checked="" type="checkbox"/> Not Applicable

ISSUE BEFORE COUNCIL:

Information and training for Council Members and Executive staff on the Declaration of an Emergency.

EXECUTIVE SUMMARY:

As part of the Public Works Departments role as the City's Emergency Coordinator, staff have prepared an informational presentation and brief exercise on the process of declaring a state of emergency. The City's Emergency Operations Plan requires emergency management training for

all staff, appointed and elected officers. Additionally, training for elected officials on the process and roles of declaring an emergency have been identified as a common Best Practice for governmental agencies. This training will cover the authorities, process, powers, roles and interactions associated with a local state of emergency. At the completion of the presentation, Council will be asked to conduct an exercise in which they simulate the enactment of Declaration of Emergency associated with a recent emergency management exercise. This declaration will be for EXERCISE PURPOSES ONLY. This will allow Council members to become familiar with the process of declaring a state of emergency and allow staff to lead a discussion regarding the requirements and responsibilities associated with it.

EXPECTED RESULTS:

Understanding of the process, roles and authorities associated with an Emergency Declaration and delegation of powers.

TIMELINE:

N/A

CURRENT YEAR BUDGET IMPACTS:

None.

FINANCIAL REVIEW / COMMENT:

Reviewed by: KAK Date: 7/25/2019

LEGAL REVIEW / COMMENT:

Reviewed by: BAJ Date: 7/25/2019

Preparation of the emergency Declaration is the responsibility of the City Attorney who is responsible for ensuring City Council is informed of and approves with the declaration, as written.

COMMUNITY INVOLVEMENT PROCESS:

None.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

This will benefit the community in increasing the preparedness and resiliency of the City's elected officials and staff.

ALTERNATIVES:

N/A

CITY MANAGER COMMENT:

N/A

ATTACHMENTS:

1. Declaration of an Emergency Training PowerPoint
2. Example Declaration of Emergency Resolution

Emergency Declaration Process



WILSONVILLE
OREGON

ORS Ch 401 Emergency Management and Services

- ORS 401.305 provides for cities to establish ordinances and procedures for emergency management programs
- ORS 401.309 Guidance on Declaration of a State of Emergency

Emergency Declaration Process

- The City Council has the **legal authority under Ordinance No. 1959, “Wilsonville State of Emergency Resolution”** to declare that a local emergency exists
- Who can make the Declaration
 - The **City Council**
 - The **Mayor ***
 - The **City Council President**, when the Mayor is unavailable *
 - The **City Manager**, when the Council President is unavailable *
 - The **Incident Commander (IC)**, if the City Manager is unavailable *

** Ratification by majority of City Council shall be sought and obtained at first available opportunity to confirm and/or amend provisions of declared emergency*

Contents of the Declaration

- Nature of the Emergency
 - Description of the situation and existing conditions
- Geographic boundaries affected
- The expected duration of the state of emergency
 - Duration can be amended
- Any special regulations or emergency powers imposed as a result of emergency
- Per OEM, if County, State, or Federal assistance is needed, it must also declare that all appropriate and available local resources have been (or are expected to be) expended and contain a request to the County / Governor for the type of assistance required.
 - Can be done as an amendment to Declaration at any time

Special Regulation or Emergency Powers

- Diverting funds and resources to emergency operations
- Suspend standard procurement procedures
- Resources from organizations and individuals initiated through mutual aid and cooperative assistance agreement
- Order curtailments (water, gas, power, commercial sales); order or restrict sales
- Legal protection for actions initiated under emergency conditions.
 - Restrict access to areas
 - Enter or pass through private property
 - Establish curfews
 - Restrict public gatherings
- Order evacuations

Emergency Acquisition of Resources

- During a declared emergency, **authorized to extend government authority to non-governmental resources** (e.g. personnel and equipment) that may support regular government forces during an emergency
- May **enter into agreements** with other public and private agencies for use of resources.
- The owner of the property shall be entitled to reasonable compensation.

Mayoral and City Council Roles

Responsibilities include:

- Formal Declaration or ratification of state of emergency
- Status reports to residents, local businesses and media
 - Utilizing Information provided by Incident Commander and the Public Information Officer
- Assist in securing / coordinating volunteers
 - In coordination with the Incident Commander
- Maintaining communications with other elected officials of other affected jurisdictions
- Formally terminating the declared state of emergency

Disaster Declaration Process for Expanding Events

- The City may choose to declare a local emergency **even if the need for additional support or resources is not anticipated** in order to implement provisions of the emergency code.
 - Enact a curfew
 - Suspend procurement requirements
 - Commit to mutual aid agreements
- The City's request for a declaration must be processed through Clackamas County Disaster Management to OEM.
- **The request for a County/State disaster declaration and assistance does not abdicate responsibility and/or authority.**

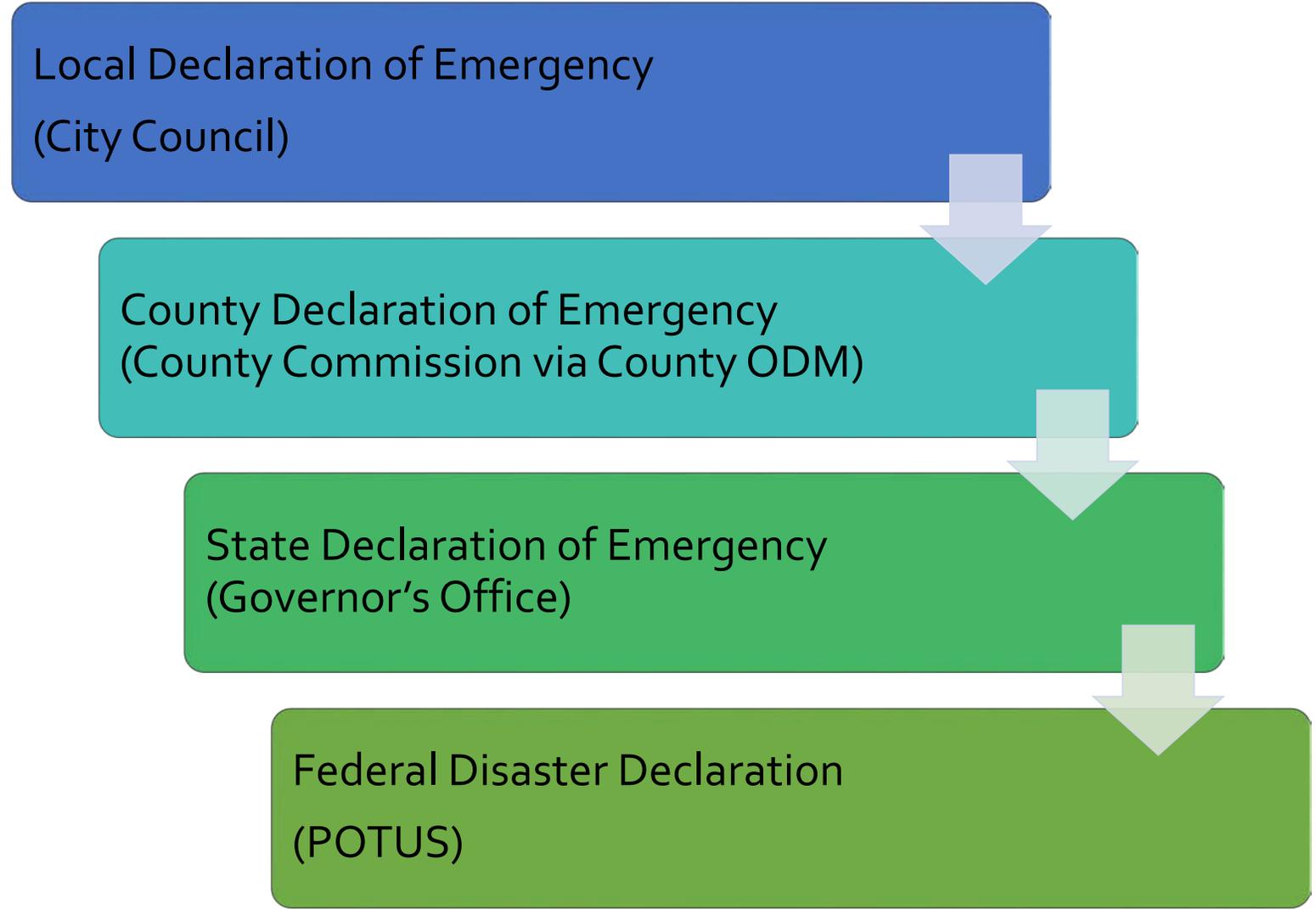
Disaster Declaration Process for Expanding Events

Local Declaration of Emergency
(City Council)

County Declaration of Emergency
(County Commission via County ODM)

State Declaration of Emergency
(Governor's Office)

Federal Disaster Declaration
(POTUS)



Command Staff Responsibilities in Declaration Process

Operations:

- Identify current necessary resources and outline special powers needed to respond to the emergency.

Planning:

- Provide situation and resource summaries. Develop initial incident action plan.

Logistics:

- Compile resource requests and outline special powers needed.

Finance:

- Identify available funding avenues and allocated emergency sources.

Command:

- Present the declaration package to the City Manager and City Commission.

Time Limit on Emergency Regulations

- The declaration of emergency shall become effective upon its issuance and dissemination to the public by appropriate news media
- **A declaration of emergency shall terminate at the end of the predetermined duration, or upon the issuance of a declaration determining that an emergency no longer exists, whichever occurs first**
- Council may, by ordinance or resolution, **extend a proclamation of emergency for additional periods of time** as determined necessary.

THIS IS AN EXERCISE



DECLARATION OF A STATE OF EMERGENCY AND IMPOSITION OF EMERGENCY MEASURES FOR THE CITY OF WILSONVILLE

WHEREAS, on or about Tuesday, June 25 at 5:30 AM a private construction activity caused the failure of the ABC Company equipment located in the vicinity of SW Chandler Court. This event has caused or imminently threatens to cause injury, damage, and suffering to the persons, property, or resources of the City of Wilsonville (“City”); and

WHEREAS, the event has endangered the health, safety and welfare of a substantial number of persons residing in the City and threatens to create problems greater in scope than the City is able to resolve under normal measures; and

WHEREAS, emergency management measures are required to reduce the severity of this disaster and to protect the health, safety and welfare of affected residents and property in the City;

NOW THEREFORE, we, the undersigned elected City Council (or if otherwise impractical or prohibitive to take timely action, I, the emergency successor as Mayor, Council President, City Manager, or other designee under the City Emergency Management Plan), pursuant to the provisions of City of Wilsonville Resolution No. 1959, do hereby declare the existence of a disaster emergency in the City;

The current situation and conditions are:

- Damage to the City’s municipal water distribution system.
- Potential establishment of several emergency Points of Distribution (PODs) for potable water.
- Extensive structural damage to both public and private facilities
- No reported fatalities to date
- City’s Emergency Operations Center (EOC) has been activated and Command Staff has been convened.
- Establishment of a Unified Command with ABC Company, the Department of Environmental Quality (DEQ), and _____ (list other relevant agencies)

The geographic boundaries of the emergency are:

- The political boundaries of the City of Wilsonville

The City may implement the following measures as reasonably required to protect public health, safety and welfare:

- Redirect funds for emergency use.
- Suspend standard procurement procedures (Note: price gouging is prohibited. No person or business may sell or attempt to sell any goods or services for a price in excess of the “normal market price,” which shall mean that person’s or business’s average of the regular price of the goods or services for the 30 days preceding the state of emergency.)
- Implement mutual aid agreements.

THIS IS AN EXERCISE

- Turn off water, gas, or electricity.
- Restrict, regulate, or prohibit vehicular or pedestrian traffic.
- Enter or pass through private property for the purpose of responding to the emergency and/or assessing damage.
- Evacuate persons from designated emergency areas.
- Establish a curfew during specified hours in specific locations.
- Prohibit or limit the number of persons who may gather or congregate upon any public street, public place, or outdoor place within designated emergency areas.
- Prohibit possession of weapons or explosives of any kind on public streets, public places, or any outdoor place.
- Prohibit or restrict the sale of gasoline or other flammable liquids.
- Curtail or suspend commercial activity.
- Prohibit the sale of alcoholic beverages.
- Order such other measures as are found to be necessary for the protection of life, property, infrastructure, the environment, or for recovery from the emergency.

FURTHER, we (I) direct the City Emergency Management Agency to coordinate the activities of the emergency response, to take all appropriate action needed to alleviate the effects of this disaster, to aid in the restoration of essential public service, and to take any other emergency response actions deemed necessary to respond to this disaster emergency.

FURTHER, we (I) declare that all appropriate and available local resources have been (or are expected to be) expended and do hereby request assistance from the Clackamas County and its Office of Disaster Management as well as the Governor of the State of Oregon for the the establishment of potable water Points of Distribution.

This declaration shall take effect immediately.

DATE:

WILSONVILLE CITY COUNCIL (at least 3)

OR IN LIEU THEREOF, THE SUCCESSOR
DESIGNEE UNDER RESOLUTION NO. 1959

Title: _____



CITY COUNCIL MEETING STAFF REPORT

Meeting Date: August 5, 2019		Subject: New Community Engagement Website, LetsTalkWilsonville.com	
		Staff Member: Bill Evans, Communications and Marketing Manager; Beth Wolf, Senior Systems Analyst and Miranda Bateschell, Planning Director	
		Department: Administration, Information Services and Community Development	
Action Required		Advisory Board/Commission Recommendation	
<input type="checkbox"/> Motion <input type="checkbox"/> Public Hearing Date: <input type="checkbox"/> Ordinance 1 st Reading Date: <input type="checkbox"/> Ordinance 2 nd Reading Date: <input type="checkbox"/> Resolution <input type="checkbox"/> Information or Direction <input checked="" type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input type="checkbox"/> Consent Agenda		<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable Comments: N/A	
Staff Recommendation: N/A			
Recommended Language for Motion: N/A			
Project / Issue Relates To:			
<input checked="" type="checkbox"/> Council Goals/Priorities: •Organizational Excellence and Continuous Improvement •Safe, Livable, and Engaged Community •Thoughtful, Inclusive Built Environment	<input type="checkbox"/> Adopted Master Plan(s)	<input type="checkbox"/> Not Applicable	

ISSUE BEFORE COUNCIL:

City staff has entered an agreement with an online provider, EngagementHQ, to provide a new City-branded website – LetsTalkWilsonville.com – specifically to improve online engagement with residents and other City stakeholders.

LetsTalkWilsonville.com Staff Report

Page 1 of 3

EXECUTIVE SUMMARY:

By design, the City's website is an information-only tool that does not provide a mechanism for the public to engage directly with staff on specific projects. On larger projects where public input is required (Town Center, French Prairie Bridge, etc.), stand-alone project websites are typically produced with project consultants. These sites are expensive, they do not have City branding, they are not updated after a project is completed, and feedback is not easily retained for inclusion in the public record.

To address those problems, and to provide a way for the public to directly and habitually engage with the City on a multitude of fronts, always in the same place, the City is introducing LetsTalkWilsonville.com.

The site provides many tools – including polls, surveys, forums, idea boards, mapping tools, etc. – to solicit feedback from stakeholders. City staff can use the site's tools to query the public on a wide array of projects, from simple queries (what's your favorite summer event?) to feedback on complex, long-range planning initiatives on project pages that include timelines, project leaders, supporting documents and provides an opportunity for Q&A with project team, forums or other interaction.

Having one place for people to go to engage with the City on all projects makes engagement easier. Staff are choosing to require registration, so the City can develop a database of users and their basic demographic information. This will help us understand who is (or is not) represented, allow people to opt-in to receive information on projects of interest, and allow the City to quickly reach site members when future public outreach opportunities are posted.

Staff has access to analytics in real time, providing an opportunity to gauge overall engagement, identify gaps, and produce summary reports without waiting on consultants to create reports. The information will look consistent project to project, making it easier for Staff and Council to review analytic reports.

Each month, a multidisciplinary group will update a Content Calendar and identify new items to highlight on the site, which will host all active projects and include an archive of past projects.

EXPECTED RESULTS:

We expect to improve engagement by making it easier for residents and other stakeholders to provide input with better tools and a dedicated place to seek out engagement opportunities.

We expect to provide up-to-date, comprehensive summaries of current City projects, providing transparency and inviting public comment, even on projects that don't have an engagement component budgeted. The site provides a new opportunity for divisions that have not historically had an outlet to solicit feedback.

We expect to develop a database of City stakeholders with whom future opportunities for engagement can easily be shared. Knowing who is engaging also allows us to identify under-represented populations for outreach.

TIMELINE:

The plan is to ‘soft launch’ the site early this month, and to display it at the Block Party, where we are encouraging registration and incentivizing with a raffle.

CURRENT YEAR BUDGET IMPACTS:

The site costs \$1000 per month to operate; some of this cost is offset by no longer paying consultants to develop stand-alone websites. We renew year-to-year, so there is no long-term constraint; we may elect use the tool as long as it remains an effective way to communicate.

FINANCIAL REVIEW / COMMENT:

Reviewed by: KAK Date: 7/25/2019

LEGAL REVIEW / COMMENT:

Reviewed by: BAJ Date: 7/25/2019

As I am sure Council and staff are aware, anything posted on this website will become official public record and, as such, must be preserved for the statutorily required period of time and is subject to public records request and litigation discovery. This fact should also be made clear to the public who may elect to post. Thus, a mechanism must be in place for archiving all postings/comments, etc. as a part of implementation. The foregoing should also be taken into account when calculating budget impacts and staff time.

COMMUNITY INVOLVEMENT PROCESS:

This improves our community involvement by adding much-needed consistency to the process. People will know where to turn, at any time, to weigh in on City initiatives. In addition, we can more easily push project information, because we will be developing a database of registrants.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

The site amplifies the community’s voice by providing a branded, easily identifiable City platform where people can comment on issues of interest or concern.

ALTERNATIVES:

N/A

CITY MANAGER COMMENT:

N/A

ATTACHMENTS:

None.

CITY COUNCIL ROLLING SCHEDULE

Board and Commission Meetings 2019

Items known as of 07/22/19

August

DATE	DAY	TIME	EVENT	LOCATION
8/12	Monday	6:30 p.m.	DRB Panel A	Council Chambers
8/14	Wednesday	6:00 p.m.	Planning Commission	Council Chambers
8/19	Monday	7:00 p.m.	City Council Meeting	Council Chambers
8/26	Monday	6:30 p.m.	DRB Panel B	Council Chambers
8/28	Wednesday	6:30 p.m.	Library Board	Library

September

DATE	DAY	TIME	EVENT	LOCATION
9/5	Thursday	7:00 p.m.	City Council Meeting	Council Chambers
9/9	Monday	6:30 p.m.	DRB Panel A	Council Chambers
9/11	Wednesday	6:00 p.m.	Planning Commission	Council Chambers
9/16	Monday	7:00 p.m.	City Council Meeting	Council Chambers
9/23	Monday	6:30 p.m.	DRB Panel B	Council Chambers
9/25	Wednesday	6:30 p.m.	Library Board	Library

Community Events:

- 8/9** Movies in the Park at Memorial Park River Shelter, 9:00 p.m.
- 8/15** Community Block Party at Town Center Park, 5:00 p.m. – 8:00 p.m.
- 8/23** Movies in the Park at Memorial Park River Shelter, 9:00 p.m.
- 8/27** History Pub at McMenamin's Old Church, 6:30 p.m. – 8:00 p.m.
- 8/31** Summer Reading Program Ends
- 9/2** City Offices Closed in Observance of Labor Day
- 9/4** Walk at Lunch meet at Edge Family Fitness 11:45 a.m.
- 9/11** Walk at Lunch meet at Mentor Graphics 11:45 a.m.
- 9/18** Walk at Lunch meet at Edward Jones Financial Services 11:45 a.m.
- 9/19** Town Hall with Rep. Courtney Neron at Wilsonville Library, 6:00 p.m. – 7:00 p.m.
- 9/24** History Pub at McMenamin's Old Church, 6:30 p.m. – 8:00 p.m.
- 9/25** Walk at Lunch meet at SMART Admin Offices 11:45 a.m.

All dates and times are tentative; check the City's online calendar for schedule changes at www.ci.wilsonville.or.us.



CITY COUNCIL MEETING STAFF REPORT

Meeting Date: August 5, 2019	Subject: Resolution No. 2665 Communications Facility Ground Lease (Clackamas 800 Radio Group) Staff Member: Delora Kerber, Public Works Director Department: Public Works	
Action Required	Advisory Board/Commission Recommendation	
<input checked="" type="checkbox"/> Motion <input type="checkbox"/> Public Hearing Date: <input type="checkbox"/> Ordinance 1 st Reading Date: <input type="checkbox"/> Ordinance 2 nd Reading Date: <input checked="" type="checkbox"/> Resolution <input type="checkbox"/> Information or Direction <input type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input checked="" type="checkbox"/> Consent Agenda	<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable Comments: N/A	
Staff Recommendation: Staff recommends Council adopt the Consent Agenda.		
Recommended Language for Motion: I move to approve the Consent Agenda.		
Project / Issue Relates To:		
<input type="checkbox"/> Council Goals/Priorities	<input type="checkbox"/> Adopted Master Plan(s)	<input checked="" type="checkbox"/> Not Applicable

ISSUE BEFORE COUNCIL:

To approve or deny the Communications Facility Ground Lease with Clackamas 800 Radio Group for the installation of a cell tower and ancillary equipment on Level C Water Reservoir property.

EXECUTIVE SUMMARY:

Clackamas 800 Radio Group (C800) owns and operates a public safety voice and data communications system that benefits public safety providers who protect the citizens of Clackamas County. C800 was formed as an ORS 190 cooperative intergovernmental

agency in 2000. The organizational and governance format of C800 provides an effective approach to public safety communications benefiting law enforcement, fire fighters, emergency medical service providers and the public they serve through a cooperative, partner-managed, information sharing, and communication systems/operations. C800's service area is 1,879 square miles and the service population is 397,385 (2015).

In May 2016 voters approved the Clackamas County Emergency Radio Communications System Replacement Bond (Ballot Measure 3-476). As part of this bond measure, 14 new cell tower sites will be added to the current 10 sites. One of the new sites is proposed to be on the City's Level C Water Reservoir property located north of Elligsen Road above the "Pheasant Ridge RV Park".

The C800 group wants to lease a 50' x 60' parcel within the Reservoir property to install a 180.0 foot tall lattice communications tower with the top of the terminal at 196' 6" along with 12' x 24' equipment building, generator and propane tank. The equipment will be enclosed with a 6 foot high black vinyl clad chain-link fence with privacy slats, three strand barbwire and an alarm system. A 28.7 feet by 148.7 feet area will be designated as an access area to the Ground Space along with 1676 square foot Utility Easement area within the access area to provide electricity to the Ground Space.

C800 will be responsible for the maintenance of the Access Area, Ground Space and Communication Facility including the roadway, fence, building, alarms, etc.

The C800 group has provided an executed copy of the easement or access license for the right of way of ingress and egress to and from the Property from the adjacent landowner which is a condition of approval for the Communications Facility Ground Lease Agreement.

EXPECTED RESULTS:

The project will provide enhanced communications for public safety agencies as part of a larger communications network project

TIMELINE:

The project is scheduled to be constructed fall 2019.

CURRENT YEAR BUDGET IMPACTS:

Per the agreement, C800 Radio Group will pay the City \$12,000 per year lease fee and the fee will increase by three percent each year. Because the location is the Water Reservoir property, the fee will accrue to the Water Fund.

FINANCIAL REVIEW / COMMENT:

Reviewed by: CAR Date: 7/24/2019

LEGAL REVIEW / COMMENT:

Reviewed by: BAJ Date: 7/25/2019

This is a business call. Rent offered is de minimums. Could impact existing City operations on the site. Use does pose some environmental risk and possible interference.

COMMUNITY INVOLVEMENT PROCESS:

There was no community involvement done in association with the Lease Agreement. Permits for the development of the site are through Washington County and follow their public involvement process. Staff did coordinate with the adjacent property owner on options to screen the facility from their property.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

Clackamas 800 Radio Group (C800) and Washington County Consolidated Communication Agency (WCCCA) will use the facility only for communications by police, fire and other emergency services providers as well as schools, transit and public works operations in the Wilsonville and SE Tualatin areas.

ALTERNATIVES:

Deny lease of land for a cell tower on the Level C Reservoir Site.

CITY MANAGER COMMENT:

N/A

ATTACHMENTS:

- A. Resolution No. 2665
 - 1. Communication Facility Ground Lease

RESOLUTION NO. 2665

A RESOLUTION AUTHORIZING THE CITY MANAGER TO ENTER INTO A LEASE AGREEMENT WITH CLACKAMAS 800 RADIO GROUP FOR THE USE OF CITY-OWNED PROPERTY ON LEVEL C RESERVOIR PARCEL AS A WIRELESS COMMUNICATION FACILITY TOWER SITE.

WHEREAS, the City of Wilsonville wishes to allow for the siting of wireless communication facilities on city-owned properties in a manner that does not unfairly discriminate among providers of wireless communication facilities; and

WHEREAS, Clackamas 800 Radio Group seeks to lease a 3000 square foot parcel of city-owned property at the Level C Reservoir Property for use as a wireless communication facility tower site; and

WHEREAS, Clackamas 800 Radio Group is requesting an access right for an area approximately 28.7 +/- feet wide and 148.7 +/- feet long of city-owned property at the Level C Reservoir Property for ingress and egress to the Ground Space; and

WHEREAS, Clackamas 800 Radio Group is requesting an utility easement area for an area approximately 1676 square feet located primarily within the access right area of the property for the purpose of installing underground power to the Ground Space; and

WHEREAS, the Communications Facility shall only be used for communications to, from and among public entities; and

WHEREAS, Clackamas 800 Radio Group is required to obtain an easement or access license for the right of way of ingress and egress to and from the Level C Reservoir Property from the adjacent landowner; and

WHEREAS, Clackamas 800 Radio Group agreed to pay rent to the City for the use of this site;

NOW, THEREFORE, THE CITY OF WILSONVILLE RESOLVES AS FOLLOWS:

1. Authorizes the City Manager to sign the Communications Facility Ground Lease agreement after Clackamas 800 Radio Group provides an executed copy of the easement or access license for the right of way of ingress and egress to and from the Property from the adjacent landowner.
2. Said agreement is attached to this resolution as "Exhibit 1."

ADOPTED by the Wilsonville City Council at a regular meeting thereof this 5th day of August 2019, and filed with the Wilsonville City Recorder this date.

Tim Knapp, Mayor

ATTEST:

Kimberly Veliz, City Recorder

SUMMARY OF VOTES:

Mayor Knapp

Councilor President Akervall

Councilor Lehan

Councilor West

EXHIBIT:

1. Communication Facility Ground Lease



COMMUNICATIONS FACILITY GROUND LEASE

THIS Lease Agreement ("Lease") is entered into this 5th day of August, 2019, by and between the **City of Wilsonville**, a municipal corporation ("Lessor"), and **Clackamas 800 Radio Group** ("C800"), an intergovernmental entity formed pursuant to ORS Chapter 190, Milwaukie, Oregon ("Lessee") [collectively, "the Parties"].

WHEREAS, Lessor is the owner of certain real property located in Clackamas County, State of Oregon, at Tax lot 502, Section 1, T3S, R1W, W.M., Oregon ("the Property"), which is more particularly shown on **Exhibit "A"** attached hereto; and

WHEREAS, Lessee desires to lease an approximate three thousand square-foot (3,000 SF) portion of the Property ("Ground Space") for placement of the Lessee's equipment shelter, generator, propane tank, and communications tower, and the Ground Space, which is more particularly shown and described on **Exhibit "B"** attached hereto, will be leased for the purpose of erecting, constructing, installing, and operating thereon: an equipment shelter; communications tower for antennas and microwave dish(es); an emergency power generator and propane tank; fencing; and all other necessary associated equipment and facilities (collectively, "the Communications Facility," as more particularly described in **Exhibit "C"**); and

WHEREAS, Lessee is requesting an access right for ingress and egress to the Ground Space, which is more particularly shown and described on **Exhibit "B"** attached hereto; and

WHEREAS, Lessee is also requesting an utility easement, which is more particularly shown and described on **Exhibit "B"** attached hereto to install underground wire to provide power to the Communication Facility; and

WHEREAS, the Communications Facility shall only be used for communication to, from, and among public entities such as emergency service providers, public works operations, transit operations, parks operations, schools, and the like; and

WHEREAS, Lessee has agreed that Lessor can place its communications devices on Lessee's Communications Facility without charge; and

WHEREAS, Lessor desires to lease the Ground Space and grant an access license and utility easement to Lessee upon the terms and conditions hereinafter set forth;

NOW, THEREFORE, in consideration of the mutual promises contained herein, and incorporating the above Recitals as if fully set forth below, the Parties agree as follows:

1. Leased Area. Lessor does hereby lease to Lessee the Ground Space, and the air space above the Ground Space, on the condition that Lessee obtains and maintains an easement or access license for the right-of-way of ingress and egress to and from the Property from the adjacent landowner

2. Nonexclusive Access Area. Lessor shall have a nonexclusive right approximately 28.7+/- feet wide and 148.7+/- feet long for the ingress and egress to the Ground Space. In no event shall Lessee block this area or impede the access of Lessor. The location of the Nonexclusive Access Area is shown in **Exhibit "B"**.
3. Utility Easement. Lessor does hereby grant an utility easement to Lessee for an area of 1676 square feet along the southern area of the Property for providing power via underground wire to and within the Ground Space. The location of the Utility Easement Area is shown in **Exhibit "B"**.
4. Authority. Lessor covenants and warrants that Lessor has title to the Property and that Lessor has the right and authority to enter into this Lease for the Property. Lessor, however, does not have the right to grant any use of the Access Easement to the Property and Lessee must provide Lessor with a signed and recorded copy of the Access Easement to the Property from the owner of the Access Easement.
5. Permitted Use. Lessee may use the Ground Space for the installation, construction, maintenance, operation, repair, replacement, and upgrade of its communications fixtures and related equipment, cables, accessories, and improvements for the transmission and reception of communications signals, which may include a suitable support structure, associated antennas, equipment shelters or cabinets and fencing, and any other items necessary to the successful and secure use of the Communications Facility. The Communications Facility shall only be used by Lessee for communication to, from, and among public entities such as emergency service providers, public works operations, transit operations, parks operations, schools, and the like, but no subleasing is allowed within the Ground Space (collectively, the "Permitted Use"). Lessor and Lessee agree that any portion of the Communications Facility that may be conceptually described by sketch, drawings, or other depictions in **Exhibit "C,"** attached hereto and by this reference made a part hereof, will be deemed to describe the Communications Facility being approved by Lessor. **Exhibit "C"** includes drawings of the initial installation of the Communications Facility, and Lessor's execution of this Lease signifies Lessor's approval of **Exhibit "C"** to the extent **Exhibit "C"** complies with the required Government Approvals, as defined in Paragraph 6. Lessee has the right to request to modify, supplement, replace, upgrade, expand the equipment, increase the number of antennas, or relocate the Communications Facility within the Ground Space at any time during the term of this Lease. Such request must be made, in writing, to Lessor.
6. Approvals. This Lease is subject to Lessee's ability to obtain all governmental licenses, permits, approvals, or other relief or authorizations required of or deemed necessary or appropriate by Lessee for its use of the Ground Space, including without limitation applications for zoning variances, zoning ordinances, amendments, special use permits, and construction permits (collectively, the "Government Approvals"). Placement of any new Communications Facilities will require compliance with Chapter 4 of the Wilsonville Code, as it may be amended from time to time. The Code contains restrictions on size, placement, and appearance which must be approved through the Lessor's Administrative Review Process. Lessor authorizes Lessee to prepare, execute, and file all required applications to obtain Governmental Approvals for Lessee's Permitted Use under this Lease and agrees to reasonably assist Lessee with such applications and with obtaining and maintaining the Government Approvals. In addition, Lessee shall have the right to initiate the ordering and/or scheduling of necessary utilities, subject to advance written notice to Lessor. No Communications Facilities shall be placed within the Ground Space until all approvals have been obtained and copies provided to Lessor.

- 6.1 Prior to the installation of any Communications Facility within the Ground Space, Lessee has the right to obtain a title report or commitment for a leasehold title policy from a title insurance company of its choice and to have the Property surveyed by a surveyor of Lessee's choice. In the event Lessee determines, in its sole discretion, due to the title report results or survey results, that the condition of the Ground Space is unsatisfactory, Lessee will have the right to terminate this Lease upon written notice to Lessor.
- 6.2 Lessee may also perform and obtain, with Lessor's written approval of the specific scope of any of the following, all at Lessee's sole cost and expense: soil borings, percolation tests, engineering procedures, environmental investigation, or other tests or reports on, over, and under the Property necessary to determine if the Lessee's use of the Ground Space will be compatible with Lessee's engineering specifications, system, design, operations, or Governmental Approvals. Approval for such testing may be granted or denied in Lessor's sole discretion and, if such testing is allowed, Lessee must fully restore the Property to its pre-existing condition.
7. Interference. Lessee use is subordinate to and shall not interfere with Lessor's uses on the Property. Lessor shall have no obligation to guarantee, warrant, or in any other way prevent interference with Lessee's proposed use of the Communications Facility from the use(s) existing on the Property as of the date of the Lease, which uses may be expanded or changed. Lessee's use of the Property shall not in any way interfere with any other use or uses of the Property.
- 7.1 The Lessor will provide Lessee with a list of all existing radio frequency user(s), if any, on the Property to allow Lessee to evaluate the potential for interference. Lessee warrants that its use of the Ground Space will not interfere with existing radio frequency user(s) on the Property, as disclosed by Lessor.
- 7.2 Lessor will not grant, after the date of this Lease, a lease, license, or any other right to any third party for the use of the Property, if such use will adversely affect or interfere with the Communications Facility.
8. Initial Lease Term. The initial term of this Lease shall be for ten (10) years, commencing on the date Lessee executes this Lease, unless earlier terminated according to the terms herein. Thereafter, the Lease will automatically renew annually unless otherwise terminated by either party giving the other party at least ninety (90) days' prior written notice that the Lease will terminate. This Lease may be terminated by either party by giving at least ninety (90) days' notice to the other party after the expiration of the Initial Lease Term.
9. Termination. Lessee may terminate the Lease at any time following ninety (90) days' written notice to Lessor. Upon termination by Lessee, Lessee shall not be entitled to any refund of fees previously paid. Lessor may terminate the Lease after providing ninety (90) days' written notice to Lessee. Lessor may terminate this Lease for default or upon the giving of ninety (90) days' notice following the expiration of the Initial Lease Term.
10. Consideration.
- 10.1 Lease Amount. Lessee shall pay Lessor an annual Lease Amount of Twelve Thousand Dollars (\$12,000.00) per year, in advance, commencing on the date the required

permit(s) for the Lessee's proposed facilities are issued, prorated to January 1st of the following year. The anniversary date thereafter for all Lease payments shall be January 1st of each year.

- 10.2 Adjusted Fees. The Lease Fee shall increase three percent (3%) per year, and the adjusted rate shall become the Adjusted Lease Fee.
- 10.3 Damages to the Land. Lessee shall repair or pay to Lessor the cost of repair for any damage to the Property or improvements of Lessor caused by Lessee or its agents or contractors or resulting from Lessee's use of or operations on the Property.
- 10.4 Improvements Required Maintenance by Lessee
- 10.4.1 Lessee shall make and maintain roadway related improvements within the Nonexclusive Access Area including but not limited to black vinyl clad fencing with privacy slats(described below), grading, placement of gravel, alarm system(described below), all of which the Lessee must maintain.
- 10.4.2 Lessee shall remove the existing fence along the south border of the Property and install a new black clad vinyl chain link fence, with three strand barb wire in its place ("Security Fence") to exactly align with the surveyed Property boundary. Lessor shall be given full access to use and operate the Security Fence.
- 10.4.3 Lessee shall install an alarm system on the Security Fence around the Nonexclusive Access Area and around the Ground Space. This alarm system shall be separate from Lessor's alarm system and shall not in any way impact Lessor's alarm system. Lessor shall have the alarm codes for Lessee's alarm system and shall be allowed to activate and deactivate the alarm system as Lessor deems necessary for its use and operation of the Property
- 10.4.4 Prior to the commencement of any construction in or around the Property, Lessee shall provide an arborist report, for Lessor's review and approval, that shows any trees that are proposed to be removed as well as a detailed description of any potential impact Lessor's construction might have on any remaining trees. Damage to trees must be minimized and Lessor reserves the right to prohibit the removal of or damage to any tree it deems can be avoided.
- 10.4.5 Lessee shall purchase 24 nursery stock purple beach (Fagus Sylvatica 'Dawyck Purple') trees, with a minimum 1 ½ inch caliper diameter, acceptable to and to be provided to the owner of Access Easement to the Property and the adjacent parcel immediately south of the Property as a screen to the Ground Space.

- 10.5 Late Payments. If Lessee fails to make any payment due under this Section 9 when due, the Lessee shall be in default. The amount in default shall bear interest at the then current statutory judgment rate of interest until paid in full.
11. Use; Utilities and Access.
- 11.1 Use. Lessee shall only use and occupy the Ground Space for the construction and operation of a Communications Facility and activities directly incidental thereto, including the maintenance, repair, or removal of the Communications Facility, subject to the limitations set forth in this Lease. Any additions to the Communications Facility or any other activities incidental thereto will require Lessor's prior written approval.
- 11.2 Utilities and Access. Lessee is responsible for all utility costs associated with the Communications Facility including but not limited to the installation of an electric meter, conduit, payment for electricity, etc.
- 11.3 Construction and Maintenance. Upon reasonable written notice to Lessor, Lessee may make arrangements with Lessor to use other portions of the Property as reasonable necessary for the construction, maintenance, repair, alteration, removal or replacement of the Communication Facility. The scope and duration of the work to be performed will be documented in writing and signed by Lessor. The primary purpose of the Property is and always will be the operation of the water facilities and none of Lessee's activities on or use of the Property can interfere with Lessor's primary use.
12. Ownership of Communications Facility. The Communication Facility and any alterations or additions thereto which may be constructed by Lessee on the Communications Facility shall be owned by Lessee and must be removed by Lessee upon termination of this Lease. Lessee shall promptly restore the Ground Space to pre-lease condition except as otherwise approved, in writing, by Lessor.. If Lessee fails to remove the Communications Facility within thirty (30) days after the termination of this Lease, Lessor may remove the same and dispose of them without any further notice to Lessee, and Lessee shall be liable to Lessor for all costs of removal, including any and all legal costs and fees incurred by Lessor in effecting such removal.
13. Repair and Maintenance. During the term of this Lease, Lessee shall, at its own cost and expense, keep and maintain the Nonexclusive Access Area, Ground Space, and Communications Facility in good order and repair and shall not allow any nuisances to exist. Lessor shall not be obligated to make any repairs, replacements, or renewals of any kind, nature, or description whatsoever to the Nonexclusive Access Area, Ground Space, or Communications Facility or any appurtenances thereto.
14. Lessor's Use of the Communication Facility. Lessor may install, operate, and maintain certain equipment on Lessee's Communication Facility and within the Ground Space, as long as Lessor's proposed equipment installation does not interfere or conflict with Lessee's use of the Communication Facility and the Ground Space at the time of Lessor's desired installation. Such equipment installation shall be subject to Lessee's approval, which approval shall not be unreasonably

withheld, conditioned, or delayed. Said equipment shall be up to, but no larger than, twelve (12) feet of vertical space on the tower structure; and up to, but no larger than, thirty (30) square feet of space on the ground within the Ground Space. Lessee agrees to reserve a minimum of twelve (12) feet of tower space at least one hundred and fifty (150) feet above ground level for Lessor's use. If Lessor determines it would like to use the Communication Facility space, Lessor will submit a no cost site application to Lessee, and will pay for any required government imposed collocation fees, testing, analysis and/or reviews. If modification work is required for the tower to support the Lessor's additional tower equipment, or if any other engineering or governmental approval is required (including, but not limited to, FAA approval of increased height), Lessor will be responsible for any such costs. Lessor shall also be solely responsible for all other costs associated with the installation, operation, maintenance and repair of Lessor's equipment installation on the Communication Facility and within the Ground Space, including, without limitation, utility service charges. Lessor will not be required to pay Lessee rent with respect to Lessor's equipment installation.

15. Notices. All notices, requests, demands, or other communications provided for or permitted or required by this Lease shall be deemed given and received upon the earlier of actual delivery in writing to the following address or three (3) days after such shall be deposited in the United States Mail, postage paid by registered or certified mail, return receipt requested, addressed as follows:

LESSOR: City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070
Attn: Public Works Director

LESSEE: Clackamas 800 Radio Group
11300 SE Fuller Rd
Milwaukie, OR 97022
Attn: Manager

16. Damage and Destruction. If the whole of the Communications Facility, or such portion thereof as will make the Communications Facility unsuitable for Lessee's use this Lease may terminate at the option of the Lessee, upon Lessee's removal of all Communications Facilities and restoration of the Ground Space area to pre-Lease condition and inspection and approval by Lessor that Lessee achieved pre-Lease condition. Until all such restoration has been completed, this Lease will remain in full force and effect.
17. Lessee's Right to Cure; Lessor's Remedies. If Lessee defaults on any of Lessee's obligations under this Lease, Lessor shall, before exercising any right or remedy provided herein or by law, give Lessee thirty (30) days' written notice of the claimed default. If the claimed default relates to a matter other than payment, Lessee may request from Lessor a reasonable period of time to cure the default, which, due to its nature, cannot reasonably be cured within thirty (30) days. Provided Lessee is diligently working to cure the default, Lessor shall grant Lessee's reasonable request. If, at the expiration of the applicable period, a cure has not been effected, Lessor may exercise any available right or remedy available at law or in equity, including but not limited to injunctive relief, specific performance, an action for damages, and/or termination of this Lease. Termination of the Lease will not preclude any of the other foregoing remedies. Notwithstanding the foregoing, in the event of a default that jeopardizes Lessor's operations on the Property, Lessor will not be required to give a notice and may seek immediate injunctive relief.

18. Lessor's Right to Cure; Lessee's Remedies. If Lessor defaults on any of Lessor's obligations under this Lease, Lessee shall, before exercising any right or remedy provided herein or by law, give Lessor thirty (30) days' written notice of the default. Lessor may request from Lessee a reasonable period of time to cure the default, which, due to its nature, cannot reasonably be cured within thirty (30) days. Provided Lessor is diligently working to cure the default, Lessee shall grant Lessor's reasonable request. If, at the expiration of the applicable period, a cure has not been effected, Lessee may exercise any available right or remedy available at law or in equity, including but not limited to injunctive relief, specific performance, an action for damages and/or termination of this Lease. Termination of the Lease will not preclude any of the other foregoing remedies.
19. Restrictive Covenants. Except for its continued use of the Property as a water reservoir, which shall take precedence over all other uses, including Lessee's uses, Lessor shall not use the Property in a manner that would materially adversely affect the operation of the Communications Facility. Lessor agrees that Lessee may, at its own expense, control or remove natural vegetative growth, excluding trees and shrubs, on the Communications Facility. Lessee may remove trees and shrubs only after obtaining prior written consent of Lessor. Lessee shall be liable for all damages, whether to the land or improvements of Lessor or any other, which may be caused by erosion created by the removal of any vegetation.
20. Environmental Responsibility. Lessor and Lessee agree that each will be responsible for compliance with any and all environmental and industrial hygiene laws, including any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene condition or other matters as may now or at any time hereafter be in effect, that are now or were related to that party's activity conducted in or on the Property. Lessee has inspected the Property prior to occupancy and agrees that it has noted no environmental contamination of any nature. Prior to occupancy, Lessee will perform an environmental assessment of the Property to establish its base line environmental condition to be used in the event contamination later occurs. Copies of any Phase 1 and Phase 2 performed will be provided to Lessor. If Lessee fails to perform such environmental assessment a legal presumption will be established that the Property was free of environmental contamination at the time Lessee took possession of the Ground Space and began work on the Property.
- 20.1 To the extent allowed by the Tort Claims Act and the Oregon Constitution, Lessor and Lessee agree to hold harmless and indemnify the other from, and to assume all duties, responsibilities, and liabilities, at the sole cost and expense of the indemnifying party, for payment of penalties, sanctions, forfeitures, losses, costs, or damages, and for responding to any action, notice, claim, order, summons, citation, directive, litigation, investigation, or proceeding which is related to (i) the indemnifying party's failure to comply with any environmental or industrial hygiene law, including, without limitation, any regulations, guidelines, standards, or policies of any governmental authorities regulating or imposing standards of liability or standards of conduct with regard to any environmental or industrial hygiene conditions or matters as may now or hereafter be in effect, or (ii) any environmental or industrial hygiene conditions that arise out of activities conducted by the party thereon, unless the environmental conditions are caused by the other party.
- 20.2 The indemnifications of this Section 19 specifically include reasonable costs, expenses, and fees incurred in connection with any investigation of Property conditions or any

clean-up, remediation, removal, or restoration work required. The provisions of this Section 19 will survive the expiration or termination of this Lease.

- 20.3 In the event the Lessee becomes aware of any hazardous materials on the Property, or any environmental or industrial hygiene condition or matter relating to the Property that was caused by Lessor and in Lessee's sole determination, renders the condition of the Ground Space or Property unsuitable for Lessee's use, or if Lessee believes that the leasing or continued leasing of the Ground Space would expose Lessee to undue risks of government action, intervention, or third-party liability, Lessee will have the right to terminate the Lease upon notice to Lessor. Lessee will be entitled to reimbursement for any prepaid Lease Fee on a prorated basis. In the event Lessor becomes aware of any hazardous materials on the Property, or any environmental or industrial hygiene condition or matter relating to the Property that was caused by Lessee, Lessee will be in default of this Lease and Lessor shall have available to it any and all remedies for default including damages and termination of this Lease. Lessee further understands and agrees that environmental contamination in and around a water facility can have dire consequences and result in severe and significant damage which, if caused by Lessee or its operations, Lessee shall be fully liable for.
21. Hazardous Materials. Lessee shall not cause, or permit any hazardous material to be brought upon, kept, or used in or about the Ground Space or the Property by Lessee, its agents, employees, contractors, or invitees without the prior written consent of Lessor. As used in this Section, the term "hazardous material" means any hazardous or toxic substance, material, or waste, including but not limited to those substances, materials, and wastes listed in the United States Department of Transportation Hazardous Materials Table (49 CFR 172.101) or by the United States Environmental Protection Agency as a hazardous substance (40 CFR Part 302), and amendments thereto, petroleum products, or such other substances, materials, and wastes that are or become regulated under applicable local, state, or federal law. Lessee may conduct business of operating a communications site, and thus will use batteries as power backup, diesel or propane fuel to power its generator and equipment. Any extra fuel stored on the Ground Space must be limited in amount and held in properly contained facilities to prevent spills, combustion or contamination of the soil and ground water. Storage must be reviewed and approved, in writing, by Lessor.
22. Liens. Each party hereto shall keep the Ground Space and Communications Facility free from liens arising out of the work performed, common materials furnished, or obligations incurred by such parties, and shall indemnify, hold harmless, and defend the other party from any liens and encumbrances arising out of work performed or materials furnished by or at the direction of the party requesting the same.
23. Indemnity. Within the applicable limitations of the Oregon Tort Claims Act, Lessee shall defend, indemnify, and hold harmless Lessor, its officers, directors, employees, agents, affiliates, and subsidiaries, from and against any and all claims arising from Lessee's use of the Ground Space, Communications Facility, the Access Area, the Property, or the conduct of its business, or from any activity, construction, maintenance, work, or thing done, permitted or suffered by Lessee in or about the Ground Space, Communications Facility, or the Property, and shall further indemnify and hold harmless Lessor from and against any and all claims arising from any breach or default by Lessee in the performance of its obligations hereunder or violation of state or federal laws and from and against

any and all costs, expenses, and liabilities, including but not limited to attorney fees and litigation costs incurred in connection with such claim.

24. Assignments and Subletting. Lessee may not sub-lease or assign this Lease. Lessor shall have the right to assign this Lease and all of its respective rights and duties hereunder without restriction. Notice of such assignment by Lessor shall be given in writing to Lessee.
25. Holding Over. If Lessee remains in possession of all or any part of the Communications Facility after the expiration of the term hereof, with the express written consent of the Lessor, such tenancy shall be from month to month only and not a renewal hereof or an extension for any further term. In such case, any fee or other monetary sums due hereunder shall be paid on the fifth (5th) of each month in an amount of one twelfth (1/12) of the fee described in Section 9 of this Lease, and such month-to-month tenancy shall be subject to every other term, covenant, and agreement contained herein. Any hold-over without a written consent shall be deemed a tenancy at sufferance.
26. Insurance Requirements. Lessee shall maintain insurance coverage acceptable to Lessor in full force and effect throughout the term of this Lease. Such insurance shall cover all risks arising directly or indirectly out of Lessee's use of the Property or the conduct of its business or from any activity, construction, maintenance, work or thing done, permitted by Lessee or suffered by Lessor in the Ground Space, Communications Facility, or the Property. Any and all agents, contractors, or subcontractors with which Lessee contracts to work or be present in the Ground Space, Access Area, Communications Facility, or Property must have insurance that conforms to the insurance requirements in this Lease. The amount of insurance carried is in no way a limitation on Lessee's liability hereunder. The policy or policies of insurance maintained by Lessee shall provide at least the following minimum limits and coverages at all times during performance under this Lease:
- 26.1 Commercial General Liability Insurance. Lessee and its agents, contractors, and subcontractors operating in the Ground Space, Access Area, Communications Facility, or Property shall obtain, at their own expense, and keep in effect during the term of this Lease, comprehensive Commercial General Liability Insurance covering Bodily Injury and Property Damage, written on an "occurrence" form policy. Lessee's coverage shall include broad form Contractual Liability insurance for the indemnities provided under this Lease and shall be for the following minimum insurance coverage amounts: The coverage shall be in the amount of **\$2,000,000** for each occurrence and **\$3,000,000** general aggregate and shall include Products-Completed Operations Aggregate in the minimum amount of **\$2,000,000** per occurrence, Fire Damage (any one fire) in the minimum amount of **\$50,000**, and Medical Expense (any one person) in the minimum amount of **\$10,000**. All of the foregoing coverages must be carried and maintained at all times during this Lease.
- 26.2 Business Automobile Liability Insurance. If Lessee or Lessee's agent, contractor, or subcontractor will be using a motor vehicle in the performance of any work or activities on the Property, Lessee shall provide Lessor a certificate indicating that Lessee or Lessee's agent, contractor, or subcontractor has business automobile liability coverage for all owned, hired, and non-owned vehicles. The Combined Single Limit per occurrence shall not be less than **\$2,000,000**. Notwithstanding who is carrying the insurance when working with or for Lessee or is an invitee of Lessee, Lessee will be primarily liable for and will fully defend, indemnify, and hold harmless Lessor from

and against any claim of personal injury or property damage, and Lessor may make a claim immediately directly against Lessor and shall not be required to pursue any auto insurance claim or exhaust any remedy through any policy holder who caused or allegedly caused the damage or injury.

- 26.3 Workers Compensation Insurance. Lessee and all employers providing work, labor, or materials on behalf of Lessee within the Access Area, Ground Space, Communications Facility, or Property that are subject employers under the Oregon Workers Compensation Law shall comply with ORS 656.017, which requires them to provide workers compensation coverage that satisfies Oregon law for all their subject workers under ORS 656.126. Out-of-state employers must provide Oregon workers compensation coverage for their workers who work at a single location within Oregon for more than thirty (30) days in a calendar year. This shall include Employer's Liability Insurance with coverage limits of not less than **\$500,000** each accident.
- 26.4 Insurance Carrier Rating. Coverages provided by Lessee and its agents, contractors, and subcontractors must be underwritten by an insurance company deemed acceptable by Lessor with an AM Best Rating of A or better. Lessor reserves the right to reject all or any insurance carrier(s) with a financial rating that is unacceptable to Lessor.
- 26.5 Additional Insured and Termination Endorsements. Additional Insured coverage under Lessee's Commercial General Liability, Automobile Liability, and Excess Liability Policy(ies), as applicable, will be provided by endorsement. Additional insured coverage shall be for both on-going operations via ISO Form CG 2010 or its equivalent, and products and completed operations via ISO Form CG 2037 or its equivalent. Coverage shall be Primary and Non-Contributory. Waiver of Subrogation endorsement via ISO form CG 2404 or its equivalent shall be provided. The following is included as additional insured: "The City of Wilsonville, its elected and appointed officials, officers, agents, employees, and volunteers." An endorsement shall also be provided requiring the insurance carrier to give Lessor at least thirty (30) days' written notification of any termination or major modification of the insurance policies required hereunder. Lessee must be an additional insured on the insurance policies obtained by its agents, contractors, subcontractors performing work or other services within the Access Area, Ground Space, Communications Facility, or Property.
- 26.6 Certificates of Insurance. As evidence of the insurance coverage required by this Lease, Lessee shall furnish a Certificate of Insurance to Lessor. This Lease shall not be effective until the required certificates and the Additional Insured Endorsements have been received and approved by Lessor. Lessee agrees that it will not terminate or change its coverage during the term of this Lease without giving Lessor at least thirty (30) days' prior advance notice and Lessee will obtain an endorsement from its insurance carrier, in favor of Lessor, requiring the carrier to notify Lessor of any termination or change in insurance coverage, as provided above. Coverage cannot be reduced at any time during this Lease.
- 26.7 Primary Coverage. The coverage provided by these policies shall be primary, and any other insurance carried by Lessor is excess. Lessee shall be responsible for any deductible amounts payable under all policies of insurance. If insurance policies are

“Claims Made” policies, Lessee will be required to maintain such policies in full force and effect throughout any warranty period.

27. Taxes and Assessments. Lessee shall be responsible for payment of all ad valorem taxes levied upon the Property if this Lease triggers the Property to lose its tax exempt status. Lessee shall be responsible for all taxes levied upon Lessee’s leasehold improvements (including Lessee’s equipment building and tower) on the Ground Space. Lessor shall provide Lessee with copies of all assessment notices on or including the Ground Space immediately upon receipt, but in no event later than thirty (30) days after receipt by Lessor.
28. Entire Agreement. This Lease constitutes the entire agreement between the parties hereto, supersedes all prior written or oral discussions or agreements, and cannot be varied except by the written agreement of the parties hereto.
29. Time. Time is of the essence in the performance of this Lease.
30. Governing Law. This Lease and all rights and liabilities of the parties hereunder shall be construed and governed by the laws of the State of Oregon. Venue shall be in the Circuit Court of Clackamas County.
31. Successors in Interest. To the extent this Lease is assignable, this Lease shall be binding upon and shall inure to the benefit of the successors and assigns of the parties hereto.
32. Non-waiver. Failure by either party at any time to require performance by the other party of any of the provisions of this Lease shall in no way affect the party’s rights hereunder to enforce the same, nor shall any waiver by the party of the breach hereof be held to be a waiver of any succeeding breach or a waiver of this non-waiver clause.
33. Severability. If any provision of this Lease is found to be void or unenforceable to any extent, it is the intent of the parties that the rest of the Lease shall remain in full force and effect, to the greatest extent allowed by law.
34. Modification. This Lease may not be modified except by written instrument executed by Lessee and Lessor.
35. Time of the Essence. Time is expressly made of the essence in the performance of this Lease.
36. Headings. Any titles of the sections of this Lease are inserted for convenience of reference only and shall be disregarded in construing or interpreting any of its provisions.
37. Interpretation. As a further condition of this Lease, Lessor and Lessee acknowledge that this Lease shall be deemed and construed to have been prepared mutually by each party and it shall be expressly agreed that any uncertainty or ambiguity existing therein shall not be construed against any party.
38. Counterparts. This Lease may be executed in one or more counterparts, each of which shall constitute an original Lease but all of which together shall constitute one and the same instrument.

39. Authority. Each party signing on behalf of Lessee and the Lessor hereby warrants actual authority to bind their respective party.

IN WITNESS WHEREOF, the parties hereto have executed this Lease as of the date of execution by the last party to sign this Lease.

LESSOR:

LESSEE:

City of Wilsonville
29799 SW Town Center Loop E
Wilsonville, OR 97070

Clackamas 800 Radio Group
11300 SE Fuller Rd
Milwaukie, OR 97222

By: _____

By: _____

Print Name: _____

Print Name: _____

Title: _____

Title: _____

Date: _____

Date: _____

APPROVED AS TO FORM:

Barbara Jacobson
Wilsonville City Attorney

Exhibit "B"

Description of Ground Space

A PORTION OF THAT PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THE DEED RECORDED IN BOOK 1005 PAGES 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORD IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY, FROM WHICH A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SAID SURVEY FOR THE SOUTHEAST CORNER OF SAID PROPERTY, BEARS SOUTH 88°54'02" EAST 104.35 FEET; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE NORTH 01°05'58" EAST 50.00 FEET; THENCE SOUTH 88°54'02" EAST 60.13 FEET TO THE EAST LINE OF SAID BOOK 1005 PAGE 511; THENCE SOUTH 01°15'14" WEST 50.00 FEET TO THE SOUTHEAST CORNER OF SAID BOOK 1005 PAGE 511; THENCE ALONG SAID SOUTH LINE NORTH 88°54'02" WEST 60.00 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINS 3003 SQUARE FEET MORE OR LESS



Exhibit "B"

Description of Access Area

A PORTION OF THOSE PROPERTIES CONVEYED TO THE CITY OF WILSONVILLE BY THE DEEDS RECORDED IN BOOK 1005 PAGES 509, 510 & 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORD IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET; THENCE NORTH 01°05'58" EAST 28.69 FEET; THENCE NORTH 88°44'57" WEST 114.59 FEET; THENCE NORTH 89°33'09" WEST 34.04 FEET TO A POINT ON THE WEST LINE OF SAID BOOK 1005 PAGE 509; THENCE ALONG SAID WEST LINE SOUTH 01°15'14" WEST 28.61 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 4286 SQUARE FEET MORE OR LESS



Exhibit "B"

Description of Utility Easement

A PORTION OF THOSE PROPERTIES CONVEYED TO THE CITY OF WILSONVILLE BY THE DEEDS RECORDED IN BOOK 1005 PAGES 509, 510 & 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORD IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY; FROM WHICH A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SAID SURVEY FOR THE SOUTHEAST CORNER OF SAID BOOK 1005 PAGE 509 OF SAID PROPERTY, BEARS SOUTH 88°54'02" EAST 104.35 FEET; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET; THENCE NORTH 01°05'58" EAST 12.69 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE NORTH 01°05'58" EAST 10.00 FEET; THENCE NORTH 88°44'45" WEST 133.20 FEET; THENCE NORTH 00°22'44" EAST 24.50 FEET; THENCE NORTH 89°37'16" WEST 10.00 FEET; THENCE SOUTH 00°22'44" WEST 34.35 FEET; THENCE SOUTH 88°44'45" EAST 143.08 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINS 1676 SQUARE FEET MORE OR LESS



EXHIBIT "C"

PROPOSED COMMUNICATIONS FACILITY

See attached drawings for C-4 Wilsonville Tank, last updated 7/23/19

Drawings

T-1 and Survey I, II, III

G-1 through G-3

C-1 and C-1.1 through C-14

E-1 through E-5

BUILDING SET



**SITE NAME:
WILSONVILLE TANK**

**LOCATION:
8323 SW ELLIGSEN ROAD, TUALATIN, OR 97062**

EXHIBIT 1



PROJECT INFORMATION:

**C-4
WILSONVILLE
TANK**

8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/20/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

DRAWING INFORMATION:
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PLANS PREPARED BY:



**Don Cushing Associates
Civil Engineers**

107 SE WASHINGTON STREET
SUITE 205
PORTLAND, OR 97214
(503) 387-5331
www.cushing-engr.com

LICENSURE:



RENEWAL DATE 12/31/19

SHEET TITLE:

**COVER
SHEET**

SHEET NUMBER:

T-1

SHEET INDEX

- T-1 COVER SHEET
- SURVEY I
- SURVEY II
- SURVEY III
- G-1 GENERAL NOTES
- G-2 SPECIAL INSPECTIONS I
- G-3 SPECIAL INSPECTIONS II
- C-1 EXISTING SITE CONDITIONS PLAN
- C-1.1 PROPOSED DEVELOPMENT SITE PLAN
- C-2 ENLARGED SITE PLAN
- C-3 ELEVATIONS
- C-4 NOT IN USE
- C-5 RF PLAN & SCHEDULE
- C-6 RF DETAILS
- C-7 NOT IN USE
- C-8 TOWER RELATED EQUIPMENT DETAILS I
- C-9 COMPOUND DETAILS I
- C-10 COMPOUND DETAILS II
- C-11 EQUIPMENT SHELTER FOUNDATION PLAN
- C-12 GENERATOR & PROPANE TANK DETAILS
- C-13 NOT IN USE
- C-14 NOT IN USE
- E-1 ELECTRICAL SITE PLAN
- E-2 SITE GROUNDING PLAN AND DETAILS
- E-3 GROUNDING DETAILS I
- E-4 GROUNDING DETAILS II
- E-5 GROUNDING DETAILS III

PROJECT INFORMATION

PROPERTY OWNER:
CITY OF WILSONVILLE
29799 SW TOWN CENTER LOOP EAST
WILSONVILLE, OR 97070
CONTACT:
DELORA KERBER
503-682-4092
kerber@ci.wilsonville.or.us

JURISDICTION:
WASHINGTON COUNTY

COUNTY:
WASHINGTON

ZONING:
EFU (EXCLUSIVE FARM USE)

PARCEL NUMBER(S) & AREA:
TAX LOT#: 3S10100 00502, PARCEL #: R584111
43,560 SQ. FT. ±
1 ACRES ±

PROJECT AREA:
NEW IMPERVIOUS AREA: 0 SQ. FEET±
COMPOUND AREA - 3,000 SQ FEET±

PROJECT AREA:
LAT: N 45° 20' 32.52" (45.342367)
LONG: W 122° 45' 39.58" (-122.760994)
SOURCE: 1A SURVEY DATED 12/1/16
DATUM: NAD 83

UTILITY PROVIDERS:
TELCO PROVIDER: MICROWAVE
POWER PROVIDER: PGE

GENERAL INFORMATION:
1. TRAFFIC IS UNAFFECTED
2. SITE IS UNMANNED AND HANDICAP ACCESS IS NOT REQUIRED
3. TECHNICIAN PARKING IS PROVIDED

CODE INFORMATION:
1. IBC-2015, INTERNATIONAL BUILDING CODE
2. NEC-2014 NATIONAL ELECTRIC CODE
3. 2014 OREGON STRUCTURAL SPECIALTY CODE
4. 2017 NFPA 56 LPG CODE
5. OCCUPANCY GROUP: U
6. CONSTRUCTION TYPE: II-B

OREGON APPROVED PREFABRICATED STRUCTURE
OREGON PLAN # M231-17-5868D

PROJECT INFORMATION CONTINUED

APPLICANT:
CLACKAMAS 800 RADIO GROUP (C800)
11300 SE FULLER RD
MILWAUKIE, OR 97222
CONTACT:
JOHN HARTSOCK
503-780-4806

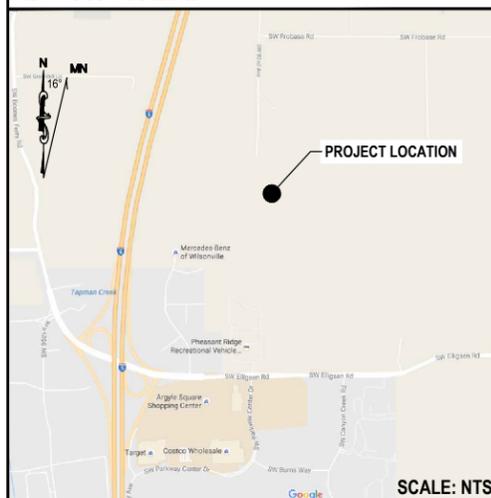
PROJECT MANAGER:
BJORN MORFIN
503-781-9762

ZONING CONTACT:
SKIP GREENE
SECURASITE LLC
6233 SW ORCHID DR
PORTLAND, OR 97219
503-866-5111
skip.greene@comcast.net

SITE ACQUISITION:
BJORN MORFIN
SECURASITE LLC
1631 NE BROADWAY, PMB 100
PORTLAND, OR 97232
503-781-9762
bmorfin@securasite.net

PROJECT DESCRIPTION:
CLACKAMAS COUNTY 800 RADIO GROUP PROPOSES TO CONSTRUCT A NEW UNSTAFFED ESSENTIAL PUBLIC COMMUNICATIONS SERVICE FACILITY CONSISTING OF A NEW 180' TALL SELF SUPPORTING LATTICE TOWER, A PRE-FABRICATED EQUIPMENT SHELTER, A GENERATOR AND A PROPANE TANK BOTH ON CONCRETE PADS ALL WITHIN A NEW 60' X 50' ALARMED 6' TALL SECURITY FENCED LEASE AREA. ACCESS TO SITE IS VIA EXISTING ACCESS ROAD FROM ELLIGSEN ROAD.

LOCATOR MAP



DRIVING DIRECTIONS

FROM C800 OFFICE;
HEAD SOUTHWEST ON SE FULLER RD TOWARD SE MICHAEL DR
0.2 MI
TURN LEFT ONTO SE MONTEREY AVE
0.2 MI
TURN RIGHT ONTO OR-213
1.6 MI
MERGE ONTO I-205 S/STATE HWY 213 S/WAR VETERANS MEMORIAL FWY (SIGNS FOR STATE HWY 224)
12.2 MI
USE THE LEFT 2 LANES TO TAKE THE INTERSTATE 5 S EXIT TOWARD SALEM
1.0 MI
MERGE ONTO I-5 S
1.5 MI
TAKE EXIT 286 FOR ELLIGSEN ROAD/BOONES FERRY ROAD
0.2 MI
USE THE LEFT 2 LANES TO TURN LEFT ONTO SW ELLIGSEN RD (SIGNS FOR ELLIGSEN RD)
0.5 MI
TURN LEFT AT SW PARKWAY CENTER DR
0.2 MI
FOLLOW ROAD NORTH ONTO DIRT ACCESS ROAD FOR 1/4 MILE TO THE SITE
EST. TIME: 23 MINS
EST. MILEAGE: 17.7 MI

DOCUMENT REVIEW

SIGNATURE **DATE**

SITE ACQ: _____
BJORN MORFIN (503) 781-9762

ZONING: _____
SKIP GREENE (503) 866-5111

APPLICANT: _____
JOHN HARTSOCK (503) 780-4806

PROJECT MGR: _____
BJORN MORFIN (503) 781-9762

NOTES

1. THE BOUNDARY SHOWN ON THIS SURVEY IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING OF GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. PROPERTY LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED EXCEPT AS SHOWN ON THIS PLAN. NO PROPERTY MONUMENTS WERE SET.

UTILITY CAUTION

UNDERGROUND UTILITIES SHOWN ON THIS SURVEY WERE LOCATED BASED ON UTILITY MARK OUTS PAINTED FOLLOWING A CALL FOR A FREE UTILITY LOCATE. NOT ALL UTILITIES MAY BE SHOWN. CALL FOR UTILITY LOCATES BEFORE DIGGING.

BENCH MARK

THE DATUM FOR THIS SURVEY IS NAVD 88. AN ELEVATION WAS ESTABLISHED FOR THE PROJECT BENCHMARK USING GPS METHODS AND GEIOD12B.

CONTROL POINT 108
ELEV: 476.26'

BASIS OF BEARING/LOCAL DATUM PLANE COORDINATES

THE BASIS OF BEARING FOR THIS SURVEY IS THE OREGON STATE PLANE COORDINATE SYSTEM OF 1983, NORTH ZONE (3106) WITH COORDINATES ESTABLISHED USING GPS AND THE OREGON DEPARTMENT OF TRANSPORTATION'S ORGN SERVICE.

LOCAL DATUM PLANE COORDINATES: AN AVERAGE COMBINED SCALE FACTOR OF 1.000120090 WAS USED TO CONVERT GRID COORDINATES TO GROUND COORDINATES SO CALCULATED GRID DISTANCES AND GROUND DISTANCE WOULD MATCH (I.E. - GRID COORDINATE TIMES SCALE FACTOR EQUALS GROUND COORDINATE).

CONTROL POINT COORDINATES (LDP)

POINT 108
IRON SPIKE
NORTHING: 619,078.895
EASTING: 7,621,608.208
ELEVATION: 476.26'

LEGAL DESCRIPTION (AS APPEARS IN TITLE REPORT)

A TRACT OF LAND IN SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF WASHINGTON AND STATE OF OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN; THENCE NORTH ON THE WEST LINE OF SAID SECTION 1321.6 FEET TO AN IRON PIPE DRIVEN AT THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°01' EAST ALONG THE NORTH LINE OF SAID SUBDIVISION 823.2 FEET; THENCE SOUTH 00°46' EAST PARALLEL WITH THE HALF SECTION LINE RUNNING NORTH AND SOUTH THRU SAID SECTION 2647.6 FEET TO AN IRON PIPE DRIVEN IN THE CENTER OF THE COUNTY ROAD AND IN THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 1; THENCE SOUTH 89°07' WEST 826.7 FEET ALONG SAID SOUTH LINE TO AN IRON PIPE DRIVEN IN THE CENTER OF THE COUNTY ROAD AT THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH ALONG THE WEST LINE OF SAID SECTION 1324.7 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT A POINT ON THE WEST LINE OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST, OF THE WILLAMETTE MERIDIAN, IN THE COUNTY OF WASHINGTON AND STATE OF OREGON, IN THE CENTER OF ELLIGSEN ROAD MARKING THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 1; THENCE NORTH ALONG SAID WEST LINE TO THE NORTH LINE OF ELLIGSEN ROAD; THENCE NORTH ALONG SAID WEST LINE OF SAID SECTION 1, 696.96 FEET TO A POINT; THENCE EAST PARALLEL TO THE NORTH LINE OF SAID ELLIGSEN ROAD 250 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID SECTION 1, 696.96 FEET TO A POINT ON NORTH LINE OF ELLIGSEN ROAD; THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID SECTION 1 TO THE CENTER LINE OF ELLIGSEN ROAD, BEING THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 1; THENCE WEST ALONG THE CENTER LINE OF ELLIGSEN ROAD TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT:

BEGINNING AT THE WEST QUARTER SECTION CORNER OF SECTION 1, TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN; THENCE NORTH ON THE WEST LINE OF SAID SECTION 1321.6 FEET TO AN IRON PIPE DRIVEN AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; THENCE NORTH 89°01' EAST ALONG THE NORTH LINE OF SAID QUARTER SECTION 823.2 FEET TO THE NORTHEAST CORNER OF THAT TRACT OF LAND CONVEYED ARTHUR L. WHITAKER AND WIFE BY DEED RECORDED DECEMBER 18, 1940 IN BOOK 194, PAGE 650, DEED RECORDS, WHICH IS THE TRUE POINT OF BEGINNING; THENCE SOUTH 00°46' EAST ALONG THE WHITAKER TRACT 208.71 FEET; THENCE SOUTH 89°01' WEST PARALLEL WITH THE NORTH LINE OF THE WHITAKER TRACT 104.35 FEET; THENCE NORTH 00°46' WEST PARALLEL WITH THE EAST LINE OF THE WHITAKER TRACT 208.71 FEET TO THE NORTH LINE OF THE WHITAKER TRACT; THENCE NORTH 89°01' EAST 104.35 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION DEDICATED TO THE CITY OF WILSONVILLE BY INSTRUMENT RECORDED OCTOBER 21, 1988, RECORDER'S NO. 88-047286.

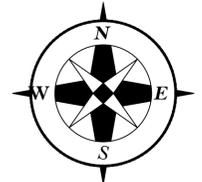
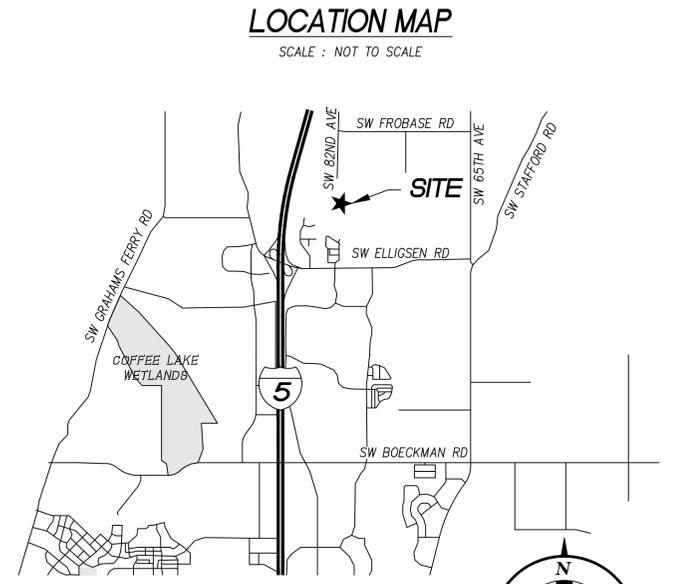
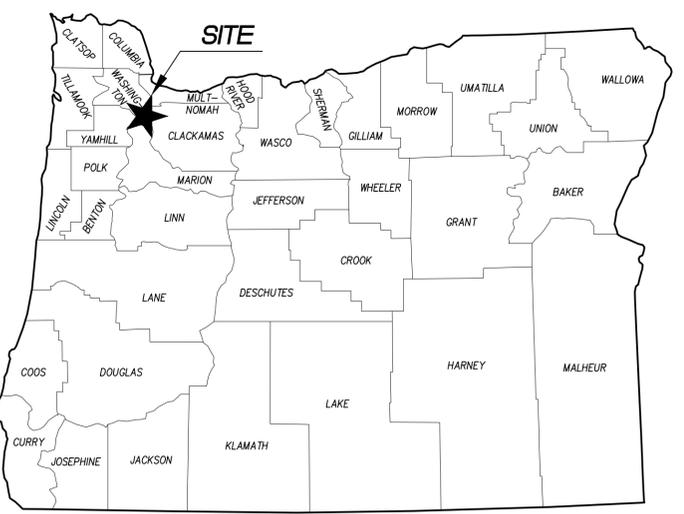
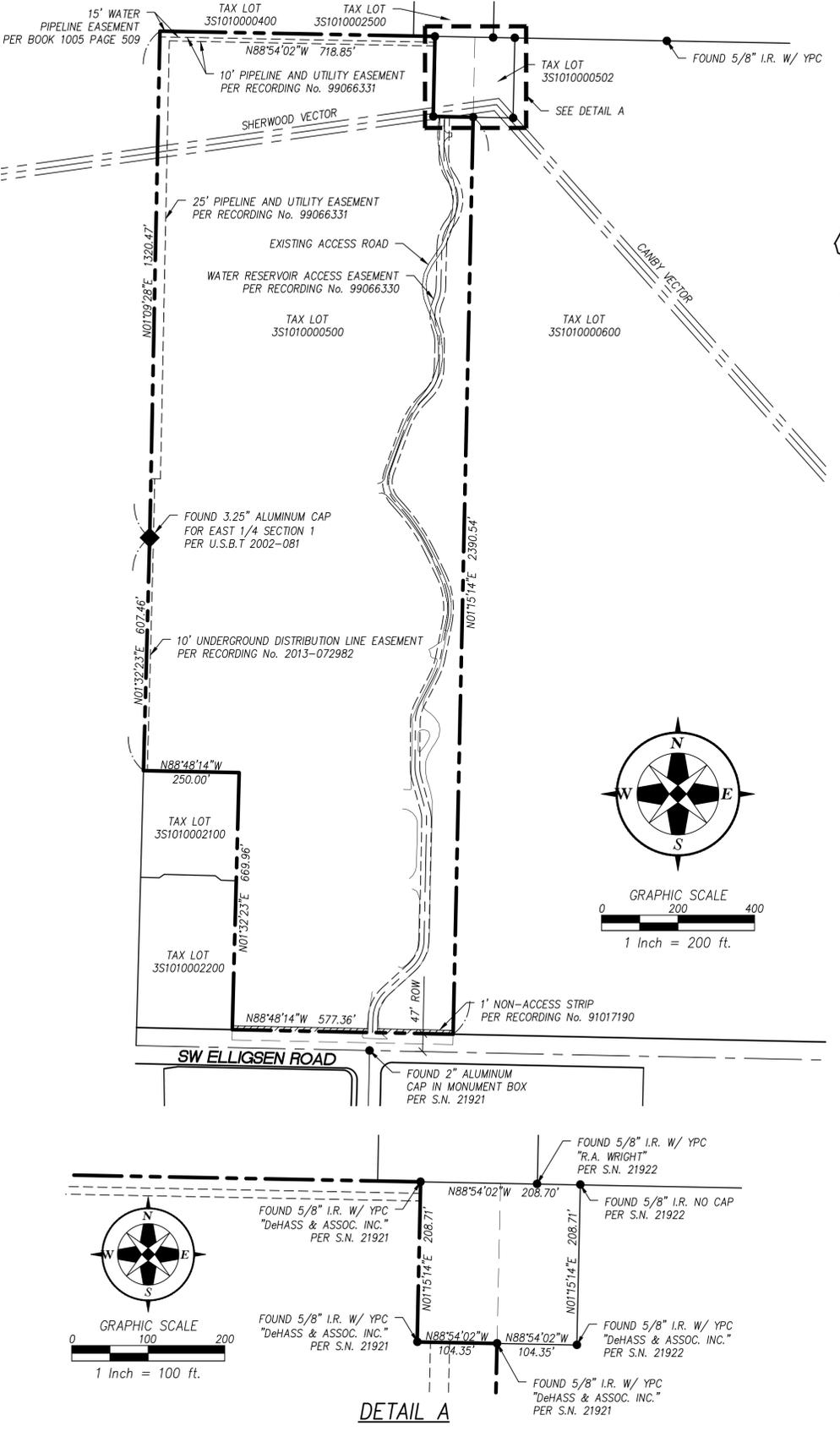
TITLE REPORT EXCEPTIONS

MCKAY CONSULTING, LLC. WAS PROVIDED A CLTA CHAIN OF TITLE FOR THE PROJECT PREPARED BY CHICAGO TITLE COMPANY OF OREGON DATED SEPTEMBER 27, 2016, ORDER NUMBER 472516006308. EXCEPTIONS INCLUDE:

- 1. PROPERTY TAXES, WHICH ARE A LIEN NOT YET DUE AND PAYABLE, INCLUDING ANY ASSESSMENTS COLLECTED WITH TAXES TO BE LEVIED FOR THE FISCAL YEAR 2016-2017
- 2. THE LAND HAS BEEN CLASSIFIED AS FORESTLAND, AS DISCLOSED BY THE TAX ROLL. IF THE LAND BECOMES DISQUALIFIED, SAID LAND MAY BE SUBJECT TO ADDITIONAL TAXES AND/OR PENALTIES.
- 3. RIGHTS OF THE PUBLIC IN AND TO THAT PORTION LYING WITHIN ELLIGSEN ROAD.
- 4. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: CITY OF WILSONVILLE PURPOSE: WATER PIPELINE RECORDING DATE: DECEMBER 23, 1974 RECORDING No.: BOOK 1005, PAGE 509 AFFECTS: NORTH 15 FEET
- 5. WAIVER OF REMONSTRANCE AGAINST CUSTOMARILY ACCEPTED FARM OR FORESTRY PRACTICES: RECORDING DATE: AUGUST 24, 1988 RECORDING No.: 88-037618
- 6. SETTLEMENT AGREEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF, EXECUTED BY: EARLE MAY AND THE CITY OF WILSONVILLE RECORDING DATE: APRIL 17, 1990 RECORDING No.: 90-018717
- 7. AGREEMENT AND COVENANT, INCLUDING THE TERMS AND PROVISIONS THEREOF, EXECUTED BY: EARLE MAY AND THE CITY OF WILSONVILLE RECORDING DATE: APRIL 17, 1990 RECORDING No.: 90-018718
- 8. RESTRICTIVE COVENANT IMPOSED BY INSTRUMENT, FOR: A NON-ACCESS RESERVE STRIP RECORDING DATE: APRIL 10, 1991 RECORDING No.: 91-017190
- 9. CITY OF WILSONVILLE RESOLUTION No. 1552, INCLUDING THE TERMS AND PROVISIONS THEREOF, RECORDING DATE: MAY 28, 1999 RECORDING No.: 99-066328
- 10. WATER RESERVOIR ACCESS EASEMENT AGREEMENT, INCLUDING THE TERMS AND PROVISIONS THEREOF, EXECUTED BY: PHEASANT RIDGE R.V. PARK, INC., AN OREGON CORPORATION AND: CITY OF WILSONVILLE RECORDING DATE: MAY 28, 1999 RECORDING No.: 99-066330
- 11. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: CITY OF WILSONVILLE PURPOSE: PIPELINE AND UTILITIES RECORDING DATE: MAY 28, 1999 RECORDING No.: 99-066331
- 12. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: TUALATIN VALLEY FIRE AND RESCUE PURPOSE: UTILITIES RECORDING DATE: SEPTEMBER 20, 2007 RECORDING No.: 2007-101879 AFFECTS: SOUTHERLY PORTION NOTE: THIS EXCEPTION DOES NOT APPEAR TO ENCUMBER SUBJECT PROPERTY
- 13. A DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW: AMOUNT: \$2,240,000.00 DATED: DECEMBER 1, 2009 GRANOR: PHEASANT RIDGE RV PARK INC TRUSTEE: WEST COAST TRUST BENEFICIARY: WEST COAST BANK LOAN No.: 26001989 RECORDING DATE: DECEMBER 14, 2009 RECORDING No.: 2009-107729 AND MODIFIED BY INSTRUMENT: RECORDING DATE: MAY 5, 2014 RECORDING No.: 2014-026088 NOTE: THE MATURITY DATE WAS EXTENDED TO APRIL 1, 2024 AND THE PRINCIPAL AMOUNT CHANGED TO \$2,375,000.00
- 14. AN ASSIGNMENT OF RENTS AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY THE DEED OF TRUST SHOWN ABOVE. ASSIGNED TO: WEST COAST BANK RECORDING DATE: DECEMBER 14, 2009 RECORDING No.: 2009-107730
- 15. A MEMORANDUM OF LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN: DATED: MARCH 15, 2009 LESSOR: PHEASANT RIDGE RV PARK, INC., AN OREGON CORPORATION LESSEE: MAC-GRAY SERVICES, INC. D/B/A WEB INTELLIGENT LAUNDRY SYSTEMS RECORDING DATE: MAY 19, 2009 RECORDING No.: 2009-044199 THE ABOVE LEASE WAS SUBORDINATED TO THE LIEN OF THE DEED OF TRUST SHOWN AS EXCEPTION No. 13 BY INSTRUMENT; RECORDING DATE: DECEMBER 14, 2009 RECORDING No.: 2009-107731
- 16. EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT: IN FAVOR OF: PORTLAND GENERAL ELECTRIC COMPANY PURPOSE: UNDERGROUND DISTRIBUTION LINE RECORDING DATE: AUGUST 8, 2013 RECORDING No.: 2013-072982 AFFECTS: STRIP 10 FEET IN WIDTH ACROSS A PORTION OF THE WESTERLY PROPERTY LINE

FINAL SURVEY: C800 - WILSONVILLE

A TRACT OF LAND IN SECTION 1
TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN
IN WASHINGTON COUNTY, OREGON
SURVEYED DECEMBER 1, 2016



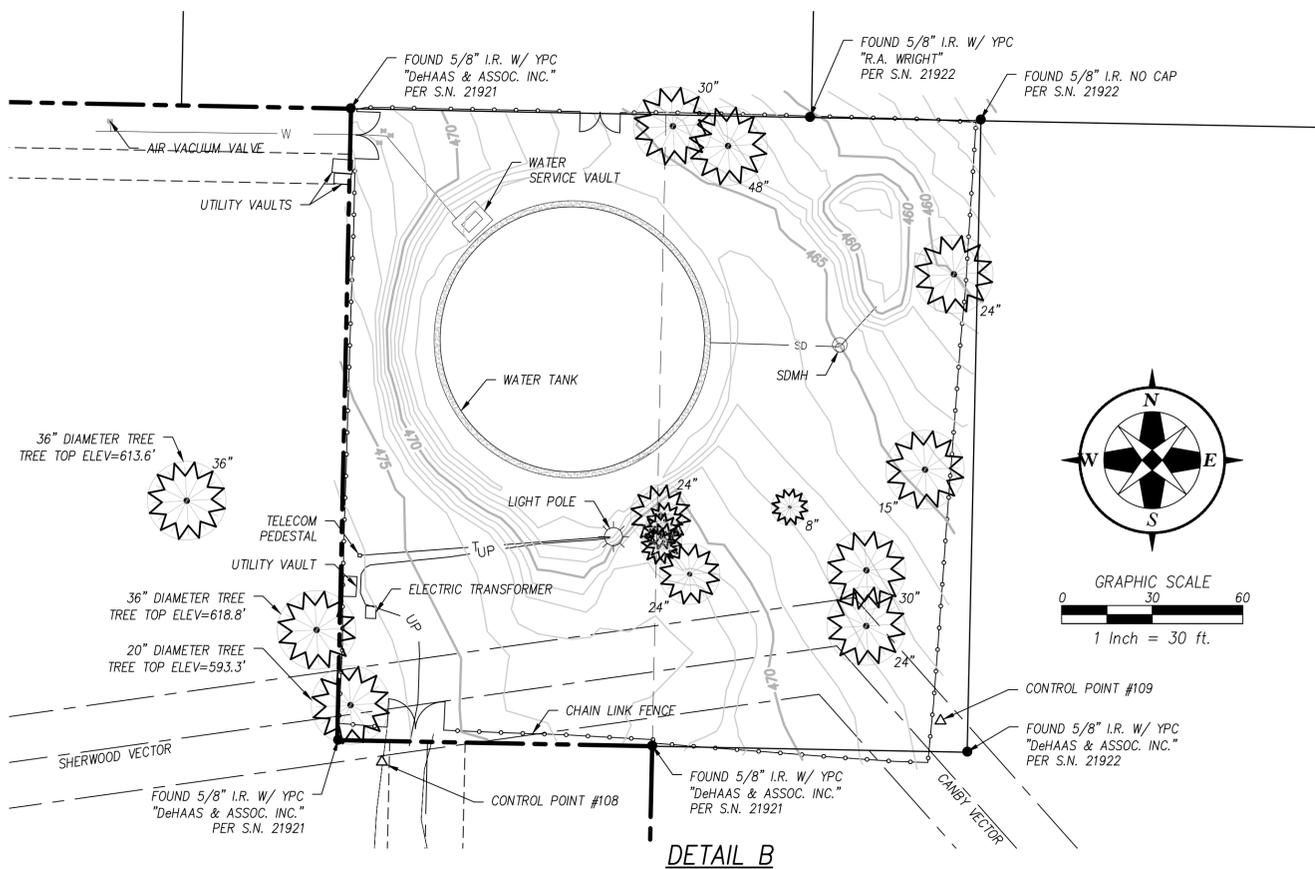
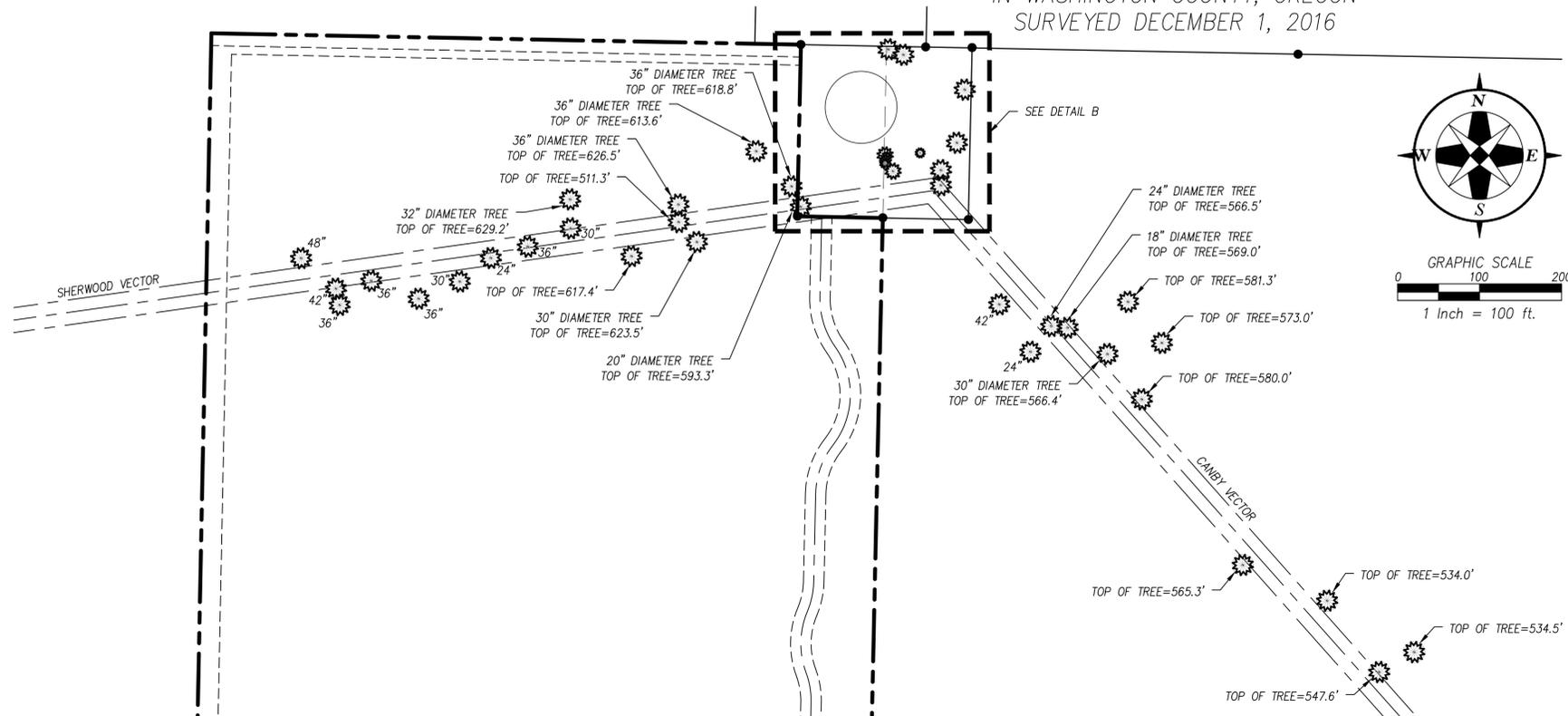
LEGEND table with symbols for PROPERTY BOUNDARY, RIGHT-OF-WAY, CENTER LINE, LOT LINE, RECORD LINE, EASEMENT, SURVEY MONUMENT AS NOTED, and PUBLIC LAND SURVEY MONUMENT AS NOTED.

Project information sidebar including: FINAL SURVEY: C800 - WILSONVILLE for PROPOSED CELLULAR FACILITIES; WILSONVILLE, OR 97070; TAX LOT 351010000502; COMMUNICATIONS SYSTEM UPGRADE PROJECT; Mckay Consulting, LLC; Kaid E. McKay, Registered Professional Land Surveyor; and other project details.

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FINAL SURVEY: C800 - WILSONVILLE WATER TOWER

A TRACT OF LAND IN SECTION 1
TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN
IN WASHINGTON COUNTY, OREGON
SURVEYED DECEMBER 1, 2016



LEGEND	
	PROPERTY BOUNDARY
	RIGHT-OF-WAY
	CENTER LINE
	LOT LINE
	RECORD LINE
	EASEMENT
	CONTOUR LINE
	CHAINLINK FENCE
	UNDERGROUND POWER
	WATER LINE
	GAS LINE
	AC PAVEMENT
	CONCRETE PAVEMENT
	GRAVEL
	FOUND MONUMENT AS NOTED
	CONTROL POINT
	YELLOW PLASTIC CAP
	IRON ROD
	IRON PIPE
	DECIDUOUS TREE W/ DIAMETER AS NOTED
	CONIFEROUS TREE W/ DIAMETER AS NOTED

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FINAL SURVEY: C800 - WILSONVILLE
for PROPOSED CELLULAR FACILITIES
WILSONVILLE, OR 97070
TAX LOT 581610000502

COMMUNICATIONS SYSTEM UPGRADE PROJECT
CLACKAMAS 800 RADIO GROUP
11300 SE FULLER RD., MILWAUKIE, OR 97222

REV.	DATE	DESCRIPTION	BY

McKay Consulting, LLC
 (503) 648-6475
 Planning - Engineering - Surveying
 205 SE 3rd Avenue, Suite 600
 Hillsboro, Oregon 97123
 contact@mcayconsultingllc.com

REGISTERED PROFESSIONAL LAND SURVEYOR
Kaid E. McKay
 OREGON
 NOVEMBER 10, 2009
 KAID EDWARD MCKAY
 59859
 EXPIRES: 12-31-2020

DESIGNED BY: KAID E. MCKAY
 DRAWN BY: KAID E. MCKAY
 CHECKED BY: KAID E. MCKAY
 DATE: AUGUST 29, 2017
 REVISED ON:
 JOB NAME: C800 - WILSONVILLE
 JOB #: 16063 2 OF 3

FINAL SURVEY: C800 – WILSONVILLE WATER TOWER

A TRACT OF LAND IN SECTION 1
TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN
IN WASHINGTON COUNTY, OREGON
SURVEYED DECEMBER 1, 2016

LEGAL DESCRIPTION FOR LEASE AREA

A PORTION OF THAT PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THE DEED RECORDED IN BOOK 1005 PAGES 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORDED IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY, FROM WHICH A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SAID SURVEY FOR THE SOUTHEAST CORNER OF SAID PROPERTY, BEARS SOUTH 88°54'02" EAST 104.35 FEET; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 01°05'58" EAST 50.00 FEET; THENCE SOUTH 88°54'02" EAST 60.13 FEET TO THE EAST LINE OF SAID BOOK 1005 PAGE 511; THENCE SOUTH 01°15'14" WEST 50.00 FEET TO THE SOUTHEAST CORNER OF SAID BOOK 1005 PAGE 511; THENCE ALONG SAID SOUTH LINE NORTH 88°54'02" WEST 60.00 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINS 3003 SQUARE FEET MORE OR LESS

LEGAL DESCRIPTION FOR ACCESS AREA

A PORTION OF THOSE PROPERTIES CONVEYED TO THE CITY OF WILSONVILLE BY THE DEEDS RECORDED IN BOOK 1005 PAGES 509, 510 & 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORDED IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET; THENCE NORTH 01°05'58" EAST 28.69 FEET; THENCE NORTH 88°44'57" WEST 114.59 FEET; THENCE NORTH 89°33'09" WEST 34.04 FEET TO A POINT ON THE WEST LINE OF SAID BOOK 1005 PAGE 509; THENCE ALONG SAID WEST LINE SOUTH 01°15'14" WEST 28.61 FEET TO THE POINT OF BEGINNING.

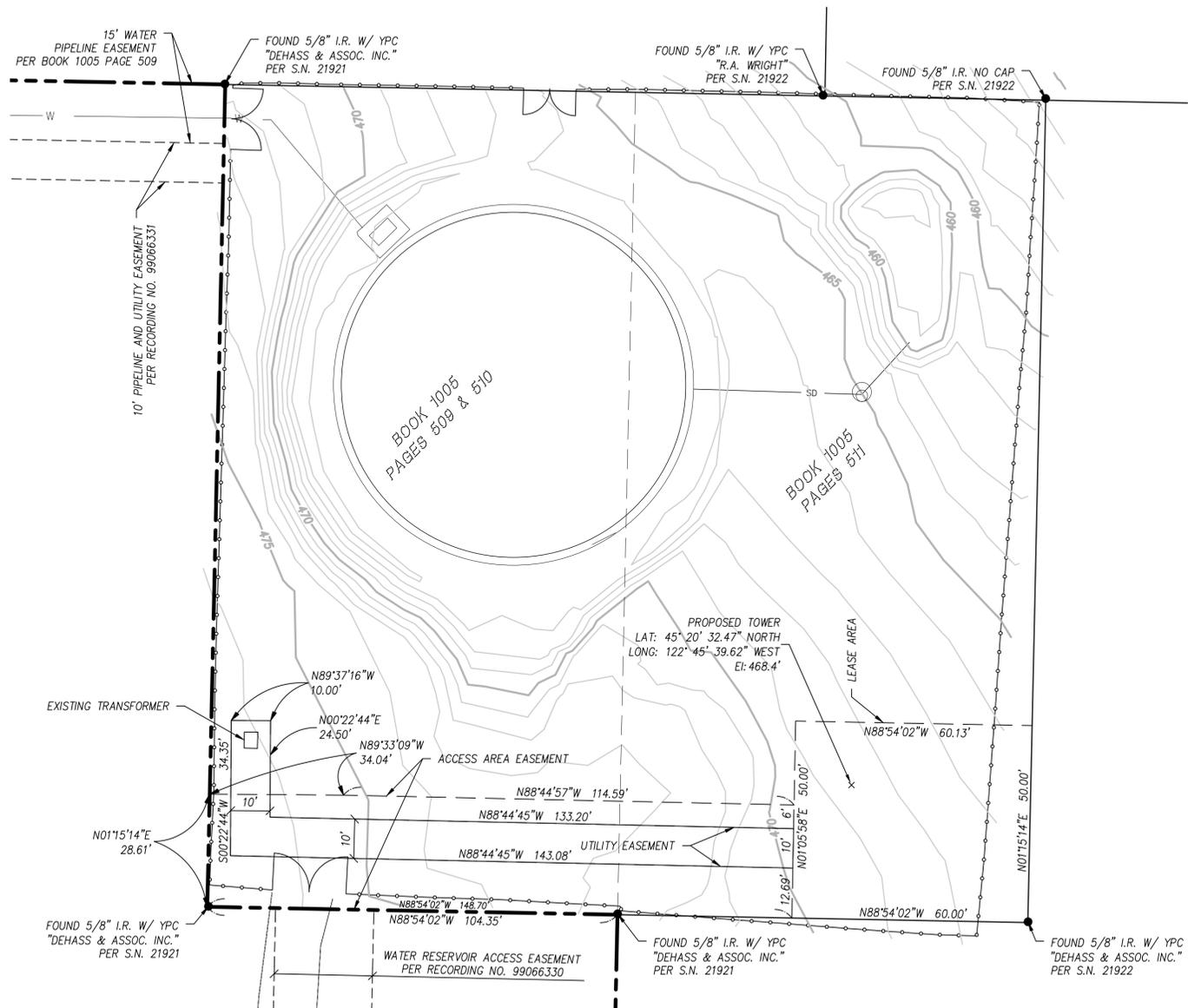
CONTAINS 4286 SQUARE FEET MORE OR LESS

LEGAL DESCRIPTION FOR UTILITY EASEMENT

A PORTION OF THOSE PROPERTIES CONVEYED TO THE CITY OF WILSONVILLE BY THE DEEDS RECORDED IN BOOK 1005 PAGES 509, 510 & 511 OF THE DEED RECORDS OF WASHINGTON COUNTY, OREGON, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 1 OF TOWNSHIP 3 SOUTH, RANGE 1 WEST OF THE WILLAMETTE MERIDIAN, WASHINGTON COUNTY, OREGON, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SURVEY NO. 21,921 FILED IN THE OFFICE OF THE COUNTY SURVEYOR OF SAID COUNTY TO MARK THE SOUTHWEST CORNER OF THE PROPERTY CONVEYED TO THE CITY OF WILSONVILLE BY THAT DEED RECORDED IN BOOK 1005 PAGE 509 OF THE DEED RECORDS OF SAID COUNTY; FROM WHICH A 5/8" IRON ROD WITH A YELLOW PLASTIC CAP MARKED "DE HAAS & ASSOC. INC." SET IN SAID SURVEY FOR THE SOUTHEAST CORNER OF SAID BOOK 1005 PAGE 509 OF SAID PROPERTY, BEARS SOUTH 88°54'02" EAST 104.35 FEET; THENCE ALONG THE SOUTH LINES OF SAID BOOK 1005 PAGE 509 AND BOOK 1005 PAGE 511 SOUTH 88°54'02" EAST 148.70 FEET; THENCE NORTH 01°05'58" EAST 12.69 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 01°05'58" EAST 10.00 FEET; THENCE NORTH 88°44'45" WEST 133.20 FEET; THENCE NORTH 00°22'44" EAST 24.50 FEET; THENCE NORTH 89°37'16" WEST 10.00 FEET; THENCE SOUTH 00°22'44" WEST 34.35 FEET; THENCE SOUTH 88°44'45" EAST 143.08 FEET TO THE TRUE POINT OF BEGINNING.

CONTAINS 1676 SQUARE FEET MORE OR LESS



FINAL SURVEY: C800 – WILSONVILLE
for PROPOSED CELLULAR FACILITIES
WILSONVILLE, OR 97170
TAX LOT 5816100000502

COMMUNICATIONS SYSTEM UPGRADE PROJECT
CLACKAMAS 800 RADIO GROUP
11300 SE FULLER RD., MILWAUKIE, OR 97222

REV.	DATE	DESCRIPTION	BY
1	7/22/2019	REVISED LEASE AREA AND EASEMENTS (LEGALS & MAP)	KAD

McKay Consulting, LLC (503) 648-6475
 Planning - Engineering - Surveying
 205 SE 3rd Avenue, Suite 600
 Hillsboro, Oregon 97123
 comc@mcayconsultingllc.com

REGISTERED PROFESSIONAL LAND SURVEYOR
Kaid E. McKay
 OREGON
 NOVEMBER 10, 2009
 KAID EDWARD MCKAY
 59859
 EXPIRES: 12-31-2020

DESIGNED BY:	KAID E. MCKAY
DRAWN BY:	KAID E. MCKAY
CHECKED BY:	KAID E. MCKAY
DATE:	AUGUST 29, 2017
REVISED ON:	
JOB NAME:	C800 – WILSONVILLE
JOB #:	16063

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GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSED ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE INSTALLATION AS DESCRIBED IN THE DRAWINGS AND OWNER'S PROJECT MANUAL.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS AND STANDARDIZED DETAILS THAT REQUIRE MODIFICATIONS DUE TO ACTUAL FIELD CONDITIONS AND REQUIREMENTS MUST BE SUBMITTED TO AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO START OF WORK.
- PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION/CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
- THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, SAFETY, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS INVOLVED WITH THE PROJECT. THIS SET IS A VALID CONTRACT DOCUMENT ONLY IF THE TITLE SHEET IS STAMPED IN RED INK "FOR CONSTRUCTION" AND EACH SUCCESSIVE SHEET BEARS THE ARCHITECT'S/ENGINEER'S SIGNED WET STAMP.
- THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, ETC. ACCORDING TO APPLICABLE CODES, STANDARDS, AND GOOD CONSTRUCTION PRACTICES. THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THE CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO THE EXISTING CONSTRUCTION AND REPAIR ALL DAMAGES TO EQUAL OR BETTER NEW CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER OF ANY DAMAGE TO THE BUILDING SITE OR ANY ADJACENT STRUCTURES AROUND THE PROJECT. THE OWNERS REPRESENTATIVE SHALL BE SOLE AND FINAL JUDGE AS TO THE QUALITY OF THE REPAIRED CONSTRUCTION. ANY ADDITIONAL MODIFICATIONS WHICH MUST BE MADE SHALL BE MADE AT THE CONTRACTOR'S EXPENSE.
- WHERE NEW PAVING, CONCRETE SIDEWALKS OR PATHS MEET EXISTING CONSTRUCTION, THE CONTRACTOR SHALL MATCH THE EXISTING PITCH, GRADE, AND ELEVATION SO THE ENTIRE STRUCTURE SHALL HAVE A SMOOTH TRANSITION.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FLOORS, WALL, CEILING, OR OTHER CONSTRUCTION AS REQUIRED TO GAIN ACCESS TO AREAS FOR ALL MECHANICAL, PLUMBING, ELECTRICAL, OR STRUCTURAL MODIFICATIONS. WHERE THE EXISTING CONSTRUCTION DOORS, PARTITIONS, CEILING, ETC., ARE TO BE REMOVED, MODIFIED, OR REARRANGED OR WHERE THE EXPOSED OR HIDDEN MECHANICAL, ELECTRICAL, SYSTEMS ARE ADDED OR MODIFIED, THE GENERAL CONTRACTOR SHALL REPAIR, PATCH AND MATCH ALL EXISTING CONSTRUCTION AND FINISHES OF ALL FLOORS WALLS AND CEILINGS. WHERE CONCRETE MASONRY CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL TOOTH IN ALL NEW CONSTRUCTION TO MATCH THE EXISTING BOND. WHERE CONCRETE CONSTRUCTION IS MODIFIED, THE CONTRACTOR SHALL VERIFY THE EXACT DETAILS TO BE USED FOR CONSTRUCTION. ALL WORK SHALL BE COVERED UNDER THE GENERAL CONTRACT.
- IF CONTRACTOR OR SUBCONTRACTOR FIND IT NECESSARY TO DEViate FROM ORIGINAL APPROVED PLANS, THEN IT IS THE CONTRACTOR'S AND THE SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE THE PROJECT MANAGER WITH 4 COPIES OF THE PROPOSED CHANGES FOR HIS APPROVAL BEFORE PROCEEDING WITH THE WORK. IN ADDITION THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY APPROVALS FROM THE BUILDING AUTHORITIES FOR THE PROPOSED CHANGES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROCURING ALL NECESSARY INSPECTIONS AND APPROVALS FROM BUILDING AUTHORITIES DURING THE EXECUTION OF THE WORK.
- CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
- THIS IS AN ESSENTIAL FACILITY THEREFORE SHALL STRICTLY MEET ALL APPLICABLE CODE AND JURISDICTIONAL REQUIREMENTS.

GENERAL NOTES CONTINUED:

- THE CONTRACTOR SHALL PERFORM WORK DURING SITE/PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHAL APPROVED MATERIALS AS APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY LOCATES, SCHEDULING, COORDINATING SPECIAL AND BUILDING DEPARTMENT INSPECTIONS.
- ROUTING OF ALL CONDUITS, CABLES, CABLE TRAYS ETC ARE INDICATED AS PROPOSED LOCATION ONLY. CONFIRM THE EXACT LOCATION AND ROUTING WITH THE ON SITE PROJECT MANAGER PRIOR TO STARTING WORK.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318 AND THE SPECIFICATION CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS (UNO).
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES CLASS "B" AND ALL HOOKS SHALL BE STANDARD (UNO).
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS: CONCRETE CAST AGAINST EARTH - 3 IN. CONCRETE EXPOSED TO EARTH OR WEATHER:
#6 AND LARGER2 IN.
#5 AND SMALLER & WWF1-1/2 IN.
- A 1/2" TROWELED RADIUS SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE (UNO). HOLES TO RECEIVE EXPANSION/WEDGE ANCHORS SHALL BE 1/8" LARGER IN DIAMETER THAN THE ANCHOR BOLT, DOWEL OR ROD AND SHALL CONFORM TO MFR RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. AVOID CUTTING EXISTING REBAR WHEN DRILLING HOLES IN THE ELEVATED SLAB.
- INSTALLATION OF CONCRETE EXPANSION AND WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURES.
- FLOAT SURFACE SHALL BE A SMOOTH FINISH. SURFACE SHALL BE FREE OF ALL OBVIOUS DEPRESSIONS. SURFACE SHALL BE SLOPED AT 2% TO PROMOTE DRAINAGE AWAY FROM EQUIPMENT.

SITE WORK NOTES:

- RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY UNLESS OTHERWISE REQUIRED TO BE LEFT AS DEFINED BY LAND/PROPERTY OWNER.
 - THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT, EQUIPMENT SHELTER, GENERATOR, FUEL TANK, TOWER AREAS, AND ADJACENT BUILDINGS, ETC.
 - NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
 - THE SUBGRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO THE CRUSHED STONE APPLICATION. FABRIC USE AS REQUIRED.
 - ALL APPLICABLE LOCATES SHALL BE PERFORMED PRIOR TO TO ANY EXCAVATION OR SITE GRADING. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.
 - ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND SHALL BE CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF ENGINEERING.
 - THE AREAS OF THE PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING, DRIVEWAY OR CRUSHED STONE, SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED, AND COVERED WITH MULCH AS SPECIFIED IN THE SPECIFICATION LANDSCAPE WORK.
 - BEDDING MATERIAL FOR UTILITY LINES, CULVERTS AND PIPING: CLEAN SAND, MEDIUM TP COARSE, SUB ROUNDED NATURAL RIVER OR BANK SAND, WASHED, FREE OF SILT OR CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS, AND ORGANIC MATTER; GRADED IN ACCORDANCE WITH THE FOLLOWING GRAIN SIZE DISTRIBUTION:
- | SIEVE SIZE | PERCENT PASSING |
|--------------|-----------------|
| 100 | 100 |
| NO. 4 MESH | 60-90 |
| NO. 8 MESH | 0-45 |
| NO. 16 MESH | 0-25 |
| NO. 100 MESH | 0-2 |
| NO. 200 MESH | 0-2 |
- BMP'S FOR TEMPORARY EROSION/SEDIMENTATION CONTROL SHALL BE IMPLEMENTED PER LOCAL, CITY OR COUNTY GUIDELINES AND PER PLAN IF APPLICABLE.

SITE WORK NOTES CONTINUED:

- ALL SITE DESIGN AND CONSTRUCTION MUST COMPLY WITH THE MOST CURRENT VERSION OF R56 STANDARDS AND ALIGNED WITH R56 GUIDELINES AS TECHNICALLY APPLICABLE. EACH SITE MUST PASS AN R56 AUDIT OR PM APPROVED BEFORE IT SHALL BE CONSIDERED COMPLETE AND ACCEPTED.
- IF INADVERTENT DISCOVERIES OF NATIVE AMERICAN CULTURAL MATERIALS OR HUMAN REMAINS ARE MADE DURING CONSTRUCTION, ALL WORK SHOULD CEASE AND POTENTIALLY AFFECTED TRIBES, AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE, SHOULD BE NOTIFIED IMMEDIATELY.

TOWER/POLE NOTES:

- ALL ANTENNAS, LINES AND RELATED INSTALLATION HARDWARE TO BE PROVIDED BY THE LAND MOBILE COMMUNICATIONS PROVIDER.
- ALL HARDWARE (NUTS AND BOLTS) BE TIGHTENED AND TORQUED IN ACCORDANCE WITH THE TOWER MANUFACTURER'S AND STRUCTURAL ENGINEER'S SPECIFICATIONS.
- VERIFICATION THAT THE TOWER/POLE CAN SUPPORT THE PROPOSED ANTENNA LOADING IS TO BE DONE BY OTHERS.
- PROVIDE SUPPORTS FOR THE ANTENNA COAX CABLES TO THE ELEVATION OF ALL INITIAL AND FUTURE ANTENNAS. ANTENNA COAX CABLES ARE TO BE SUPPORTED AND RESTRAINED AT THE CENTERS SUITABLE TO THE MANUFACTURER'S REQUIREMENTS.

R56 NOTES:

- ALL SITE DESIGN AND CONSTRUCTION MUST COMPLY WITH THE MOST CURRENT VERSION OF R56 STANDARDS AND ALIGNED WITH R56 GUIDELINES AS TECHNICALLY APPLICABLE. SITE MUST PASS AN R56 AUDIT BEFORE IT SHALL BE CONSIDERED COMPLETE AND ACCEPTED.

ATTENTION (OREGON SITES ONLY):

CALL 1-800-332-2344 48 HOURS BEFORE YOU DIG. OREGON LAW REQUIRES YOU TO FOLLOW OAR 952-001-0010 THRU 952-001-0090. COPIES ARE AVAILABLE AT THE OREGON UTILITY NOTIFICATION CENTER 503-232-1987

DESIGN LOADS:

PRE-FABRICATED SHELTER DESIGN BY OTHERS - PREFABRICATED STRUCTURES LOCATED IN OR BEING SHIPPED INTO OREGON SHALL REGISTER WITH THE STATE OF OREGON BUILDING CODES DIVISION AND APPROVED WITH STATE INSIGNIA (GOLD SEAL)

WIND DESIGN DATA -	ULTIMATE DESIGN WIND SPEED:	130 MPH
	RISK CATEGORY:	II
	WIND EXPOSURE:	C
	INTERNAL PRESSURE COEFFICIENT:	0.18±
	DESIGN WIND PRESSURES:	
	WIND LOAD HORIZONTAL (MWFRS):	18.36 PSF
	WIND LOAD (UPLIFT) (MWFRS):	39.00 PSF
	WIND LOAD HORIZONTAL (COMPONENT AND CLADDING):	35.09 PSF
EARTHQUAKE DESIGN DATA - (PER GEO. RPT. 11/23/16)	RISK CATEGORY:	IV
	SEISMIC IMPORTANCE FACTOR:	1.5
	MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS:	
	S _s	0.938
	S ₁	0.406
	SITE CLASS:	C
	DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS:	
	S _{0.2s}	0.641
	S _{0.1}	0.378
	SEISMIC DESIGN CATEGORY:	D
	BASIC SEISMIC FORCE-RESISTING SYSTEM:	BEARING WALL
	DESIGN BASE SHEAR:	0.1W
	SEISMIC RESPONSE COEFFICIENT:	0.3
	RESPONSE MODIFICATION COEFFICIENT:	2.00
	ANALYSIS PROCEDURE USED:	EQUIVALENT LATERAL FORCE PROCEDURE
GEOTECHNICAL INFORMATION -	DESIGN LOAD-BEARING VALUES OF SOIL:	300 PSF (GEO. RPT. 11/23/16)

SYMBOLS LEGEND

	REVISION		ROOM NUMBER
	KEY NOTE DETAIL		SECTION REFERENCE
	REFERENCE ELEVATION		ELEVATION DATUM POINT
	REFERENCE		
	CHAINLINK FENCE		
	CEDAR FENCE		
	POWER		

ABBREVIATIONS LEGEND

A/C	AIR CONDITIONING	MET, MTL	METAL
ADJ	ADJUSTABLE	MFR	MANUFACTURER
AFF	ABOVE FINISH FLOOR	MGR	MANAGER
AGL	ABOVE GRADE LEVEL	MIN	MINIMUM
APPROX	APPROXIMATELY	MISC	MISCELLANEOUS
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	N	NORTH
	AMERICAN WIRE GAUGE	NA	NOT APPLICABLE
AWG	BUILDING	NIC	NOT IN CONTRACT
BLK	BLOCK	NTS	NOT TO SCALE
BMR	BASE MOBILE RADIO	OC, o/c	ON CENTER
B/S	BUILDING STANDARD	OD	OUTSIDE DIAMETER
CLG	CEILING	OPG	OPENING
CLR	CLEAR	OPP	OPPOSITE
CONC	CONCRETE	OHP	OVERHEAD POWER
CONST	CONSTRUCTION	OHT	OVERHEAD TELCO
CONT	CONTINUOUS	UGT	UNDRGRND TELCO
DBL	DOUBLE	PLYWD	PLYWOOD
DIA, Ø	DIAMETER	PR	PAIR
DIAG	DIAGONAL	PROJ	PROJECT
DIM	DIMENSION	PROP	PROPERTY
DN	DOWN	PT	PRESSURE TREATED
DTL, DETL	DETAIL	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
E	EAST	R.O.	ROUGH OPENING
EA	EACH	S	SOUTH
EL, ELEV	ELEVATION	SHT	SHEET
ELECT	ELECTRICAL	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATION
EQUIP	EQUIPMENT	SQ	SQUARE
E.W.	EACH WAY	SS	STAINLESS STEEL
EXIST	EXISTING	STL	STEEL
EXT	EXTERIOR	STRUCT	STRUCTURAL
FIN	FINISH	SUSP	SUSPENDED
FLUOR	FLUORESCENT	S.V.	SHEET VINYL
FLR	FLOOR	THRU	THROUGH
FT	FOOT	TNND	TINNED
GA	GAUGE	T.O.C.	TOP OF CONCRETE
GALV	GALVANIZE(D)	T.O.M.	TOP OF MASONRY
GC	GENERAL CONTRACTOR	TYP	TYPICAL
GRND	GROUND	UBC	UNIFORM BUILDING CODE
GWB	GYP SUM WALL BOARD	U.N.O.	UNLESS NOTED OTHERWISE
GYP BD	GYP SUM BOARD	VERT	VERTICAL
HARD'WD	HARDWOOD	VF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VT	VINYL TILE
HR	HOUR	W	WEST
HT	HEIGHT	W/	WITH
HVAC	HEATING, VENTING AND AIR CONDITIONING	WIN	WINDOW
	INSIDE DIA.	W/O	WITHOUT
I.D.	INCH	WP	WATERPROOF
IN	INFORMATION	∠	ANGLE
INFO	INSULATION	&	AND
INSUL	INTERIOR	CL	CENTER LINE
INT	POUND(S)	PL	PROPERTY LINE
LB(S)	ANTENNA AMPLIFIER	@	AT
LNA	MAXIMUM	#	NUMBER
MAX	MECHANICAL		
MECH			

OP	OVERHEAD POWER
T	TELCO
T/P	POWER/TELCO
G	GAS
W	WATER
COAX	COAX
---	CENTERLINE
---	EASEMENT
---	PROPERTY LINE



PROJECT INFORMATION:

C-4
WILSONVILLE TANK
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/29/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:

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LICENSURE:

RENEWAL DATE 12/31/19

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

G-1

STRUCTURAL OBSERVATION PROGRAM

1. THE OWNER SHALL EMPLOY THE ENGINEER REGISTERED IN THE STATE OF OREGON WHO IS RESPONSIBLE FOR THE STRUCTURAL DESIGN TO DO STRUCTURAL OBSERVATION. 72 HOURS NOTICE IS REQUIRED FOR MEETINGS AND OBSERVATIONS.
2. NAME OF ENGINEER RESPONSIBLE FOR THE STRUCTURAL DESIGN : JESSE J. JARAMILLO, REGISTRATION NUMBER OF ENGINEER RESPONSIBLE FOR THE STRUCTURAL DESIGN : 51361PE
3. THE ENGINEER RESPONSIBLE FOR THE STRUCTURAL OBSERVATION THE CONTRACTOR, AND APPROPRIATE SUBCONTRACTORS SHALL HOLD A PRE CONSTRUCTION MEETING TO REVIEW THE DETAILS OF THE STRUCTURAL SYSTEM TO BE STRUCTURALLY OBSERVED.
4. THE FOLLOWING STRUCTURAL ELEMENTS ARE TO BE OBSERVED (BUT ARE NOT LIMITED TO) PRIOR TO THE FOUNDATION INSPECTION BY THE BUILDING DEPARTMENT AND THE PLACEMENT OF THE CONCRETE BY THE FOUNDATION:
 - a.) SHELTER FOOTING/SLAB SIZES AND REINFORCEMENT PLACEMENT
 - b.) GENERATOR SUPPORT SLAB SIZES AND REINFORCEMENT PLACEMENT
 - c.) PROPANE TANK SUPPORT SLAB SIZES AND REINFORCEMENT PLACEMENT
5. ENGINEER OF RECORD OR THE DESIGNATED ENGINEER SHALL SUBMIT REPORTS ON THE FORM PRESCRIBED BY THE GOVERNING JURISDICTION.

SYSTEM or MATERIAL	INSPECTION				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
SOILS					
GEOTECHNICAL INVESTIGATIONS	TABLE 1705.6 1803				GEOTECHNICAL INVESTIGATION SHALL INCLUDE ITEMS OF SPECIAL INSPECTION AND TESTING AS NOTED IN TABLE 5 OF THE GUIDELINES
VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	TABLE 1705.6			X (a)	BY THE GEOTECHNICAL ENGINEER
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	TABLE 1705.6			X	
PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS	TABLE 1705.6 1803.5.1			X	TESTING OF COMPACTED FILL MATERIALS (SEE TABLE 5)
VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	TABLE 1705.6			X	BY THE GEOTECHNICAL ENGINEER
PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	TABLE 1705.6			X	
CAST-IN-PLACE DEEP FOUNDATION ELEMENTS					
DRILLING AND TESTING	TABLE 1705.8			X	BY THE GEOTECHNICAL ENGINEER
OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS FOR EACH ELEMENT	TABLE 1705.8			X	
VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM ELEMENT DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END-BEARING STRATA CAPACITY. RECORD CONCRETE OR GROUT VOLUMES	TABLE 1705.8			X	
FOR CONCRETE ELEMENTS, PERFORM ADDITIONAL INSPECTIONS IN ACCORDANCE WITH SECTION 1705.3	TABLE 1705.8				

SYSTEM or MATERIAL	INSPECTION				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE MAIN WIND-FORCE-RESISTING SYSTEM INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLD-DOWNS	TABLE 1705.10.1				X (a)
FIELD GLUING OPERATIONS OF ELEMENTS OF THE MAIN WIND-FORCE-RESISTING SYSTEM	TABLE 1705.10.1			X	
COLD-FORMED STEEL LIGHT-FRAME CONSTRUCTION	TABLE 1705.10.2				X (a)
ROOF CLADDING AND WALL CLADDING	TABLE 1705.10.3				X (a)

SYSTEM or MATERIAL	INSPECTION				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
AS REQUIRED BY THE DESIGN PROFESSIONAL	TABLE 1704.5				
SEISMIC RESISTANCE	TABLE 1704.5.1				X (a) SEE COMMENTARY
WIND REQUIREMENTS	TABLE 1704.5.2				X (a) SEE COMMENTARY

SYSTEM or MATERIAL	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	INSPECTION		REMARKS
			FREQUENCY		
			Continuous	Periodic	
FABRICATORS					
	TABLE 1704.2.5				X SPECIAL INSPECTION IS REQUIRED FOR STRUCTURAL LOAD-BEARING MEMBERS AND ASSEMBLIES FABRICATED ON THE PREMISES OF A FABRICATOR'S SHOP.
	TABLE 1704.2.5.1				X THE SPECIAL INSPECTOR SHALL VERIFY THAT THE FABRICATOR MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES AND SHALL REVIEW FOR COMPLETENESS AND ADEQUACY RELATIVE TO THE CODE REQUIREMENT.
FABRICATORS	TABLE 1704.2.5.2				X SPECIAL INSPECTIONS REQUIRED BY SECTION 1705 ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY A NATIONALLY RECOGNIZED ACCREDITING AUTHORITY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.
STEEL					
FABRICATION OF STRUCTURAL ELEMENTS	TABLE 1704.2.5.2	AISC 360 N2			X REFER TO INSPECTION OF FABRICATOR REQUIREMENTS
MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS, AND WASHERS		AISC 360 A3.3 ASTM STANDARDS SPECIFIED IN CONSTRUCTION DOCUMENTS R3SC 2.1			X MANUFACTURER'S CERTIFIED TEST REPORTS
SNUG-TIGHT JOINT HIGH-STRENGTH BOLT INSTALLATION	TABLE 1705.2.1.1	RCSC			X ALL CONNECTIONS INSPECTED AND VERIFIED SNUG
PRETENSIONED AND SLIP-CRITICAL JOINT HIGH-STRENGTH BOLT INSTALLATION USING TURN-OF-THE-NUT METHOD WITH MATCH MARKING, TWIST-OFF BOLT OR DIRECT TENSION INDICATOR METHOD	TABLE 1705.2.1.1	SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS SECTION 9			X ALL CONNECTIONS INSPECTED. CONNECTIONS USING DIRECT TENSION INDICATORS, ALL BOLTS SHALL BE INSPECTED AFTER SNUGGING AND AFTER RETENSIONING
PRETENSIONED AND SLIP-CRITICAL JOINT HIGH-STRENGTH BOLT INSTALLATION USING TURN-OF-THE-NUT METHOD WITHOUT MATCH MARKING OR CALIBRATED WRENCH METHOD	TABLE 1705.2.1.1	AISC 360, SECTION MC 5			X ALL CONNECTIONS INSPECTED
MATERIAL VERIFICATION OF STRUCTURAL STEEL	TABLE 1705.2.1 TABLE 1705.2	ASTM A6 ASTM STANDARDS SPECIFIED IN CONSTRUCTION DOCUMENTS AISC 360 N3.2 AISC 360 A3.1 AISC 360 M6.5			X CERTIFIED MILL TEST REPORTS
FOR OTHER STEEL, IDENTIFICATION MARKINGS TO CONFORM TO ASTM STANDARDS SPECIFIED IN THE APPROVED CONSTRUCTION DOCUMENTS	TABLE 1705.2	APPLICABLE ASTM MATERIAL STANDARDS			X MANUFACTURER'S CERTIFIED TEST REPORTS
MATERIAL VERIFICATION OF WELD FILLER METALS	TABLE 1705.2	AISC 360 N3.2 AISC 360 A3.5 APPLICABLE AWS AS DOCUMENTS			X MANUFACTURER'S CERTIFICATE OF COMPLIANCE
COMPLETE AND PARTIAL JOINT PENETRATION GROOVE WELDS	TABLE 1705.2	AWS D1.1 SECTION 6		X	ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
MULTIPASS FILLET WELDS	TABLE 1705.2	AWS D1.1 SECTION 6		X	ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
SINGLE PASS FILLET WELDS GREATER THAN 5/16"	TABLE 1705.2	AWS D1.1 SECTION 6		X	ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
PUG AND SLOT WELDS	TABLE 1705.2	AWS D1.1 SECTION 6		X	ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
SINGLE PASS FILLET WELDS LESS THAN OR EQUAL TO 5/16"	TABLE 1705.2	AWS D1.1 SECTION 6		X	ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
MATERIAL VERIFICATION OF REINFORCING STEEL FOR WELDING	TABLE 1705.2	ACI 318: 3.5.2 AWS D1.4			X CERTIFIED MILL TEST REPORTS
WELDING REINFORCING STEEL IN MOMENT RESISTING FRAMES	TABLE 1705.2.2.1.2	ACI 318: 3.5.2 AWS D1.4			X ALL WELDS USUALLY INSPECTED PER AWS D1.4 7.5
WELDING REINFORCING STEEL IN SHEAR WALL BOUNDARY ELEMENTS	TABLE 1705.2.2.1.2	ACI 318: 3.5.2 AWS D1.4			X ALL WELDS USUALLY INSPECTED PER AWS D1.4 7.5
WELDING SHEAR REINFORCEMENT	TABLE 1705.2.2.1.2	ACI 318: 3.5.2 AWS D1.4			X ALL WELDS USUALLY INSPECTED PER AWS D1.4 7.5
WELDING REINFORCING EXCEPT AS NOTED OTHERWISE	TABLE 1705.2.2.1.2	ACI 318: 3.5.2 AWS D1.4			X ALL WELDS USUALLY INSPECTED PER AWS D1.4 7.5
VERIFICATION OF FRAME JOINT DETAILS INCLUDING MEMBER AND COMPONENT LOCATIONS, BRACING, AND STIFFENERS	TABLE 1705.2	AISC 360 N5.7			X (a)
MATERIAL VERIFICATION OF ANCHOR BOLTS AND THREADED RODS		AISC 360 N3.2 ASTM STANDARDS SPECIFIED IN CONSTRUCTION DOCUMENTS			X MANUFACTURER'S CERTIFIED TEST REPORTS
VERIFYING USE OF PROPER WPS'S		AISC 360 N3.2			X COPY OF WELDING PROCEDURE SPECIFICATIONS
VERIFYING WELDER AND WELDING INSPECTOR QUALIFICATIONS	TABLE 1705.2.2.1				X COPY OF QUALIFICATION CARDS
INSTALLATION OF COMPOSITE SLAB DECKING	TABLE 1705.1.1	ICC EVALUATION REPORT ASCE 9 CHAPTER 3			X SPECIAL INSPECTIONS APPLY TO DECKING TYPE, DEPTH, GAGE, AND FASTENING
INSTALLATION OF ROOF DECKING	TABLE 1705.1.1	ICC EVALUATION REPORT			X SPECIAL INSPECTIONS APPLY TO DECKING TYPE, DEPTH AND GAGE, POWER ACTUATED FASTENERS, SCREWS, PROPRIETARY SIDE SEAM ATTACHMENTS, BUTTON PUNCHES AND SHEAR CONNECTORS
WELDING STUDS EXCEPT AS NOTED OTHERWISE		AISC 360 N6			X CONTINUOUS INSPECTION IS NOT REQUIRED WHEN WELDS INSTALLED WITH AN AUTOMATICALLY TIMED STUD WELDING MACHINE PER SECTION 7 OF AWS D1.1 ONLY
WELDING STUDS IN STRUCTURAL DIAPHRAGMS		AWS D1.1 SECTION 7			X ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
WELDING STAR AND RAILING SYSTEMS	TABLE 1705.2 (2.5)	AWS D1.1 SECTION 6			X ALL WELDS USUALLY INSPECTED PER AWS D1.1 6.9
PROPRIETARY MOMENT RESISTING FRAME CONNECTION SYSTEMS	TABLE 1705.1.1				X REFER TO WELDING AND HIGH STRENGTH BOLTING REQUIREMENTS (b)

SYSTEM or MATERIAL	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	INSPECTION		REMARKS
			FREQUENCY		
			Continuous	Periodic	
INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE	TABLE 1909.1 TABLE 1705.3	ACI 318: 3.8.6, 8.1.3, 21.1.8			X (a) SPECIAL INSPECTIONS APPLY TO ANCHOR PRODUCT NAME, TYPE, AND DIMENSIONS, HOLE DIMENSIONS, COMPLIANCE WITH DRILL BIT REQUIREMENTS, CLEANLINESS OF THE HOLE AND ANCHOR, ADHESIVE EXPIRATION DATE, ANCHOR/ADHESIVE INSTALLATION, ANCHOR EMBEDMENT, AND TIGHTENING TORQUE
REINFORCING STEEL AND PRESTRESSING TENDON PLACEMENT	TABLE 1705.3 1910.4 1901.3.2	ACI 318: 3.5 ACI 318: 7.1-7.7			X TOLERANCES AND REINFORCING PLACEMENT PER ACI 7.5; SPACING LIMITS FOR REINFORCING PER ACI 7.6 PROTECTION OF REINFORCEMENT PER ACI 7.7
WELDING REINFORCING STEEL	TABLE 1705.2.2.1.2 1903.1	ACI 318: 3.5.2 AWS D1.4			X REFER TO STEEL FOR WELDING REQUIREMENTS TABLE 1705.2.2, ITEM 2b
1) VERIFICATION OF WELDABILITY OF REINFORCING STEEL OTHER THAN ASTM A706	TABLE 1705.2.2	AWS D1.4 ACI 318: SECTION 3.5.2			X ALL BOLTS USUALLY INSPECTED
2) REINFORCING STEEL RESISTING FLEXURAL AND AXIAL FORCES IN INTERMEDIATE AND SPECIAL MOMENT FRAMES, AND BOUNDARY ELEMENTS OF SPECIAL STRUCTURAL WALLS OF CONCRETE AND SHEAR REINFORCEMENT	TABLE 1705.2.2	AWS D1.4 ACI 318: SECTION 3.5.2			X (b)
3) SHEAR REINFORCEMENT	TABLE 1705.2.2	AWS D1.4 ACI 318: SECTION 3.5.2			X
4) OTHER REINFORCING STEEL	TABLE 1705.2.2	AWS D1.4 ACI 318: SECTION 3.5.2			X
PLACEMENT OF BOLTS INSTALLED IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED	TABLE 1705.3 1908.5 1909.1	ACI 318: 1.3.2.C ACI 318: 8.1.3 ACI 318: 21.1.8 ACI 318 - APPENDIX D			X ALL BOLTS USUALLY INSPECTED
VERIFYING USE OF REQUIRED MIX DESIGN(S)	TABLE 1904 1904.2 1910.2 1910.3	ACI 318: CHAPTER 4 ACI 318: 5.2-5.4			X
CONCRETE PLACEMENT	TABLE 1705.3	ACI 318: 1.3.2.D ACI 318: 5.9-5.10			X
SHOTCRETE PLACEMENT	TABLE 1705.3 1910.6-8				X
CONCRETE PLACEMENT AT COMPOSITE SLABS	TABLE 1705.3	ASCE 9, CHAPTER 3			X
CONCRETE/SHOTCRETE CURING	TABLE 1705.3 1910.9-1.3	ACI 318: 5.11-5.13			X (a)
VERIFICATION OF IN-SITU CONCRETE STRENGTH PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE	TABLE 1705.3 1901.3.9	ACI 318: 6.2			X (a)
STRESSING OF TENDONS IN POST-TENSIONED CONCRETE	TABLE 1705.3 1901.3.10	ACI 318: 18.20.1			X
INSPECTION OF PRESTRESSED CONCRETE					
a. APPLICATION OF PRESTRESSING FORCES	TABLE 1705.3	ACI 318: 18.20			X
b. GROUTING OF BONDED PRESTRESSING TENDONS IN THE SEISMIC-FORCE-RESISTING SYSTEM	TABLE 1705.3	ACI 318: 18.18.4			X
VERIFICATION OF IN-SITU CONCRETE PRIOR TO REMOVAL OF FORMS AND SHORES FROM ELEVATED BEAMS AND STRUCTURAL SLABS	TABLE 1705.3	ACI 318: 6.2			X (a)
VERIFICATION OF FORMWORK	TABLE 1705.3	ACI 318: 6.1.1			X (a) SPECIAL INSPECTIONS APPLY TO SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED

EXHIBIT 1



PROJECT INFORMATION:

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7/23/19	FINAL CONSTRUCTION SUBMITTAL

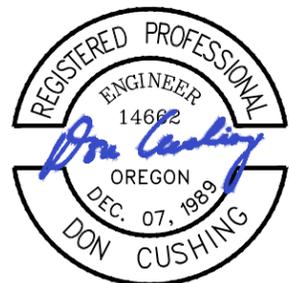
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LICENSURE:



RENEWAL DATE 12/31/19

SHEET TITLE:

**SPECIAL
INSPECTIONS
I**

SHEET NUMBER:

G-2

TABLE 5 REQUIRED TESTING FOR SPECIAL INSPECTIONS					
SYSTEM or MATERIAL	TESTING				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
GEOTECHNICAL					
GEOTECHNICAL ENGINEER TO PERFORM TESTING OF COMPACTED FILL MATERIALS	1803				TESTING PER GEOTECHNICAL REPORT
FILL IN-PLACE DENSITY OR PREPARED SUBGRADE DENSITY	1705.6	VARIES CLASSIFICATION AND TESTING OF CONTROLLED FILL MATERIALS		X (a)	BY THE GEOTECHNICAL ENGINEER
MATERIAL VERIFICATION				X (a)	BY THE GEOTECHNICAL ENGINEER
TENSION ANCHORS	1705.6		PERFORMANCE TEST FIRST (X) ANCHORS TO xxx% DL AND PROOF LOAD REMAINING ANCHORS TO xxx% DL		PER GEOTECHNICAL REPORT
CONCRETE					
AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE	TABLE 1705.3	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8		X	FABRICATE SPECIMENS AT TIME FRESH CONCRETE IS PLACED ONCE EACH DAY FOR A GIVEN CLASS OF CONCRETE, OR LESS THAN ONCE FOR EACH 150 YDS OF CONCRETE, OR LESS THAN ONCE FOR EACH 5,000 FT2 OF SURFACE AREA FOR SLABWALLS. ONCE EACH SHIFT FROM IN-PLACE WORK OR FROM TEST PANEL AND MINIMUM ONE SPECIMEN FOR EACH 50 CUBIC YARDS. *PRECONSTRUCTION TESTS AS REQUIRED PER THE BUILDING OFFICIAL.*
CONCRETE STRENGTH	TABLE 1705.3	ASTM C39		X	
CONCRETE SLUMP	TABLE 1705.3	ASTM C143		X	
CONCRETE AIR CONTENT		ASTM C231		X	
CONCRETE TEMPERATURE		ASTM C1064		X	
SHOTCRETE STRENGTH	1910.10	ASTM C42		X	IBC 1910.10: SPECIMENS SHALL BE TAKEN FROM THE IN-PLACE OR FROM TEST PANELS, AND SHALL BE TAKEN AT LEAST ONCE EACH SHIFT, BUT NOT LESS THAN ONE FOR EACH 50 CUBIC YARDS OF SHOTCRETE
STEEL					
MAGNETIC PARTICLE (MT) AND ULTRASONIC (UT) TESTING OF WELDS	1705.2.2	MT - AWS D1.1 6.14.4 UT - AWS D1.1 6.13 & 6.14.3			PER DRAWINGS
PRE-CONSTRUCTION TESTING OF WELDING STUDS	1705.2.2	AWS D1.1 7.7.1			EACH SIZE AND TYPE OF STUD EACH SHIFT THIS TESTING PERFORMED BY CONTRACTOR AND CONFIRMED BY SPECIAL INSPECTOR.
STUD APPLICATION QUALIFICATION	1705.2.2	AWS D1.1 7.6			NON-PREQUALIFIED APPLICATIONS THIS TESTING PERFORMED BY CONTRACTOR AND CONFIRMED BY SPECIAL INSPECTOR.
PRE-INSTALLATION VERIFICATION OF PRETENSIONED HIGH STRENGTH BOLTS	1705.2.2	RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS SECTION 7			EACH COMBINATION OF DIAMETER, LENGTH, GRADE, AND LOT TO BE USED IN THE WORK

TABLE 6 REQUIRED SPECIAL INSPECTIONS FOR SEISMIC RESISTANCE (SEISMIC CATEGORIES C, D, E, F)					
SYSTEM or MATERIAL	INSPECTION				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
CONCRETE					
CONCRETE SEISMIC-FORCE-RESISTING SYSTEMS (RISK CATEGORIES III & IV)	1705.11 (1)			X (b)	
REINFORCING STEEL PLACEMENT IN SPECIAL MOMENT RESISTING FRAMES AND BOUNDARY ELEMENTS OF SPECIAL STRUCTURAL WALLS AND SHEAR REINFORCEMENT	TABLE 1705.3	ACI 318 1.3.5 AWS D 1.4 ACI 318 3.5.2		X	INSPECTORS ARE TO BE QUALIFIED TO PERFORM THESE INSPECTIONS WHICH INCLUDES, BUT IS NOT LIMITED TO, THE PLACEMENT, STIRRUPS PLACEMENT, LAP LOCATION AND SPLICES, JOINT REINFORCEMENT PLACEMENT, ETC.
GROUTING OF BONDED POST TENSIONING TENDONS IN SEISMIC FORCE RESISTING SYSTEMS	TABLE 1705.3	ACI 318: 18.18.1 ACI 318: 18.18.2 ACI 318: 18.18.3 ACI 318: 18.18.4		X	
STEEL					
WELDING OF THE SEISMIC FORCE-RESISTING SYSTEM	1705.11.1	AISC 341 J8 AISC 360 AWS D1.8			REFER TO TABLE 2 OF GUIDELINES FOR FABRICATOR AND WELDING SPECIAL INSPECTION REQUIREMENTS. ENGINEER OF RECORD TO CLEARLY INDICATE THE SCOPE OF INSPECTIONS ON DRAWINGS. IBC 1707.2 AND 1708.3 REQUIRE SPECIAL INSPECTIONS AND RELATED TESTING FOR STRUCTURAL STEEL FOR THE SEISMIC FORCE RESISTING SYSTEM TO COMPLY WITH THE QUALITY ASSURANCE PLAN REQUIREMENTS OF AISC 341. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SPECIFIES THE QA PLAN WHICH SHOULD BE PROVIDED TO THE CONTRACTOR AS PART OF THE BID DOCUMENTS AND SHOULD BE CLEARLY IDENTIFIED AS SUCH. AISC RECOMMENDS THAT AISC 341 APPENDIX Q, "QUALITY ASSURANCE PLAN" BE ADOPTED. AISC 341 INCLUDES COMMENTARY WHICH WILL BE HELPFUL TO ENGINEERS SPECIFYING PROJECT QA PLANS.
HIGH STRENGTH BOLT INSTALLATION IN THE SEISMIC FORCE-RESISTING SYSTEM		AISC 341 J7 RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS			REFER TO TABLE 2 FOR HIGH STRENGTH BOLTING SPECIAL INSPECTION REQUIREMENTS
SEISMIC FORCE RESISTING FRAME SYSTEMS	1705.11.1			X	SPECIAL INSPECTIONS APPLY TO CONTOUR, FINISH, AND DIMENSIONAL TOLERANCES
SEISMIC FORCE-RESISTING SYSTEM PROTECTED ZONES		AISC 341 J8		X	SPECIAL INSPECTIONS APPLY TO VERIFYING THAT THERE ARE NO HOLES OR UNAPPROVED ATTACHMENTS INCLUDING UNACCEPTABLE WELDS IN PROTECTED ZONES
ELECTRICAL COMPONENTS					
INSTALLATION OF ANCHORAGE OF ELECTRICAL EQUIPMENT FOR EMERGENCY OR STANDBY POWER SYSTEMS	1705.11.6			X (a)	
INSTALLATION OF ANCHORAGE OF ALL ELECTRICAL EQUIPMENT IN SDC E OR F ONLY	1705.11.6			X (a)	
INSTALLATION OF VIBRATION ISOLATION SYSTEMS IN STRUCTURES ASSIGNED TO SDC C, D, E OR F WHERE THE CONSTRUCTION DOCUMENTS REQUIRE A NOMINAL CLEARANCE OF 0.25 INCHES OR LESS BETWEEN THE EQUIPMENT SUPPORT FRAME AND RESTRAINT	1705.11.6			X (a)	
INSTALLATION OF OTHER SEISMIC SUPPORTS FOR DESIGNATED ELECTRICAL SYSTEMS AND THEIR COMPONENTS	1705.11.6			X (a)	
PROCESS MECHANICAL COMPONENTS					
INSTALLATION OF PIPING SYSTEM MEANT TO CARRY FLAMMABLE, COMBUSTIBLE OR HIGHLY TOXIC CONTENTS AND ITS ASSOCIATED MECHANICAL UNITS	1705.11.6			X (a)	
INSTALLATION OF OTHER SEISMIC SUPPORTS FOR DESIGNATED MECHANICAL SYSTEMS AND THEIR COMPONENTS	1705.11.6			X (a)	

TABLE 7 REQUIRED TESTING FOR SEISMIC RESISTANCE SPECIAL INSPECTIONS					
SYSTEM or MATERIAL	TESTING				REMARKS
	IBC CODE REFERENCE	CODE or STANDARD REFERENCE	FREQUENCY		
			Continuous	Periodic	
CONCRETE REINFORCEMENT					
TEST A615 REINFORCEMENT USED TO RESIST EARTHQUAKE INDUCED LOAD IN SPECIAL MOMENT FRAMES, SPECIAL STRUCTURAL WALLS, AND END COUPLING BEAMS CONNECTING STRUCTURAL WALLS IN STRUCTURE ASSIGNED TO SEISMIC DESIGN CATEGORY B, C, D, E AND F	1705.12.1	ACI 318: 21.1.5.2		X (b)	X (a) NOT REQUIRED WHEN CERTIFIED MILL TEST REPORTS ARE PROVIDED
TEST A615 REINFORCEMENT FOR WELDABILITY WHEN SUCH REINFORCEMENT IS TO BE WELDED	1705.12.1	ACI 318: 3.5.2			X (a)
STEEL					
UT OF BASE METAL THICKER THAN 1-1/2" SUBJECT TO THROUGH-THICKNESS WELD SHRINKAGE STRAINS	1705.12.2	AISC 341 J6.2c AWS D1.8 AWS D1.1			BEHIND AND ADJACENT TO FUSION LINE OF EACH WELD
MT OF K-AREA OF ROLLED WIDE FLANGE COLUMN WEBS ADJACENT TO DOUBLER/CONTINUITY/STIFFENER PLATE WELDS	1705.12.2	AISC 341 J6.2a AWS D1.8 AWS D1.1			EACH PLATE LOCATION
MAGNETIC PARTICLE (MT) AND ULTRASONIC (UT) TESTING OF COMPLETE JOINT PENETRATION GROOVE (CJP) WELDS IN MATERIALS 5/16" THICK AND GREATER	1705.12.2	AISC 341 J6.2b AWS D1.8 AWS D1.1			UT 100% OF WELDS MT 25% OF WELDS REFER TO DRAWINGS FOR LOCATIONS
PT OR MT OF THERMALLY CUT SURFACES OF BEAM COPIES AND ACCESS HOLES AT WELDED SPLICES AND CONNECTIONS WHEN THE FLANGE THICKNESS EXCEEDS 1 1/2" FOR ROLLED SHAPES OR THE WEB THICKNESS EXCEEDS 1 1/2" FOR BUILT-UP SHAPES	1705.12.2	AISC 341 J6.2d AWS D1.8 AWS D1.1			EACH LOCATION
MT OF THE WELD AND ADJACENT AREA IN A REDUCED BEAM SECTION (RBS) PLASTIC HINGE REGION REPAIRED BY WELDING OR BY GRINDING OF SHARP NOTCHES	1705.12.2	AISC 341 J6.2e AWS D1.8 AWS D1.1			EACH LOCATION
MT OF THE ENDS OF FLANGE WELDS FROM WHICH WELD TABS HAVE BEEN REMOVED	1705.12.2	AISC 341 J6.2f AWS D1.8 AWS D1.1			EACH TESTED CJP WELD LOCATION

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LICENSURE:



RENEWAL DATE 12/31/19

SHEET TITLE:

**SPECIAL
INSPECTIONS
II**

SHEET NUMBER:

G-3

NOTE: PER MAY 1999 AS-BUILTS, PROPOSED LOCATION OF C800 COMPOUND DOES NOT INTERFERE WITH WATER TANK'S EXISTING UNDERGROUND UTILITY SYSTEMS (FIELD VERIFY)

ADJACENT PROPERTY
TAX LOT: 3S1010002500
ZONING: EFU (EXCLUSIVE FARM USE)
USE: CITY OF TUALATIN WATER TANK FACILITY

ADJACENT PROPERTY
TAX LOT: 3S1010002400
ZONING: EFU (EXCLUSIVE FARM USE)
USE: LIGHT FORESTED AREA WITH NO BUILDINGS, APPEARS TO BE USED FOR HORSE PATHS

ADJACENT PROPERTY
TAX LOT: 3S1010000500
ZONING: AF-5
USE: NORTH HALF OF PROPERTY IS UNUSED FORESTED AREA, SOUTH HALF IS PLEASANT RIDGE RV PARK

PARCEL INFORMATION
TAX LOT #: 3S1010000502
PARCEL #: R584111
43,560 SQ. FT. ±
1 ACRES ±
ZONING: EFU (EXCLUSIVE FARM USE)
USE: CITY OF WILSONVILLE WATER TANK FACILITY

ADJACENT PROPERTY
TAX LOT: 3S1010000600
ZONING: EFU (EXCLUSIVE FARM USE)
USE: FORESTED AREA APPROXIMATELY FIRST 300' EAST OF SITE, THEN FARM FIELD. LOWER HALF OF PARCEL ALL FARM FIELDS

ADJACENT PROPERTY
TAX LOT: 3S1010000500
ZONING: AF-5
USE: NORTH HALF OF PROPERTY IS UNUSED FORESTED AREA, SOUTH HALF IS PLEASANT RIDGE RV PARK

ADJACENT PROPERTY
TAX LOT: 3S1010000600
ZONING: EFU (EXCLUSIVE FARM USE)
USE: FORESTED AREA APPROXIMATELY FIRST 300' EAST OF SITE, THEN FARM FIELD. LOWER HALF OF PARCEL ALL FARM FIELDS

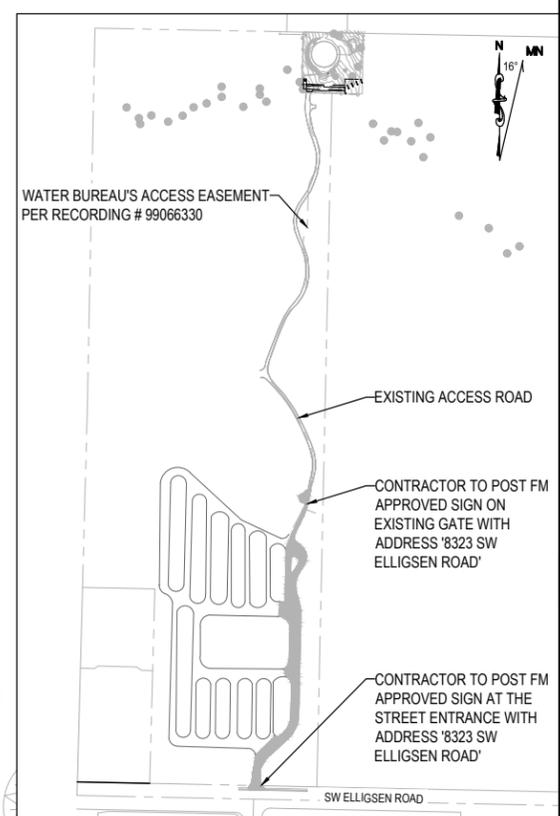
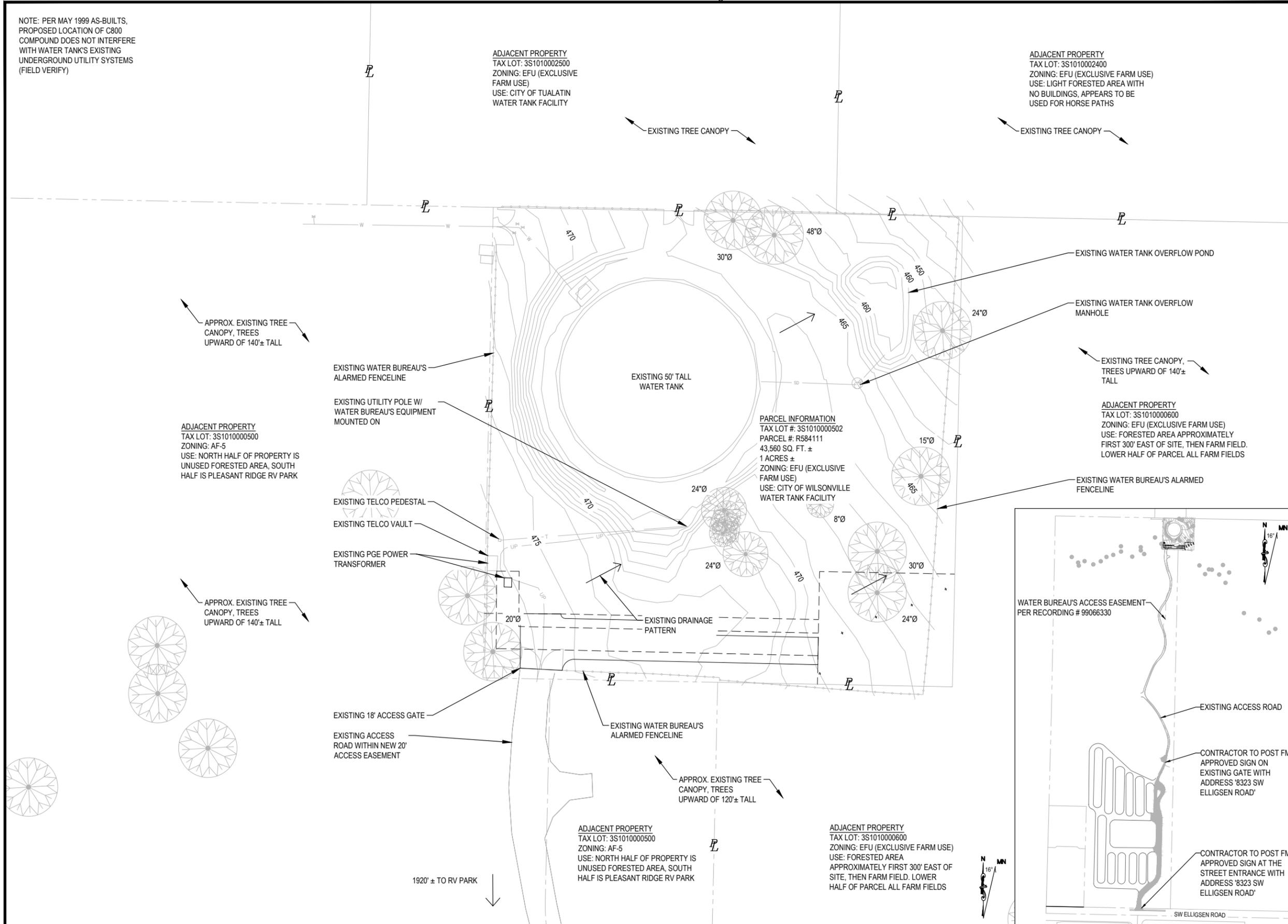


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RENEWAL DATE 12/31/19

SHEET TITLE:

EXISTING SITE
CONDITIONS PLAN

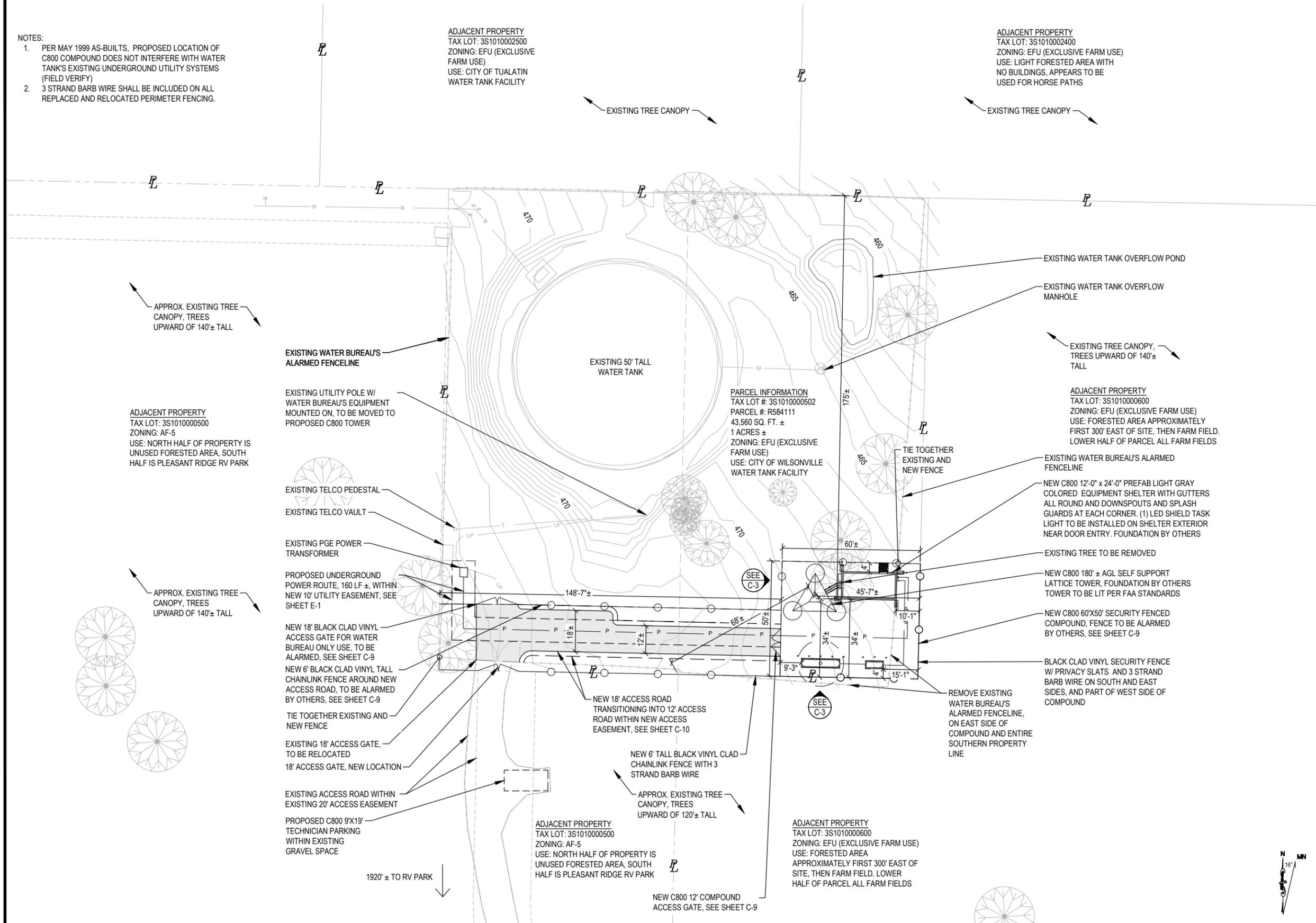
SHEET NUMBER:

C-1

- NOTES:
- PER MAY 1999 AS-BUILTS, PROPOSED LOCATION OF C800 COMPOUND DOES NOT INTERFERE WITH WATER TANK'S EXISTING UNDERGROUND UTILITY SYSTEMS (FIELD VERIFY)
 - 3 STRAND BARB WIRE SHALL BE INCLUDED ON ALL REPLACED AND RELOCATED PERIMETER FENCING.

ADJACENT PROPERTY
TAX LOT: 3S1010002500
ZONING: EFU (EXCLUSIVE FARM USE)
USE: CITY OF TUALATIN WATER TANK FACILITY

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TAX LOT: 3S1010002400
ZONING: EFU (EXCLUSIVE FARM USE)
USE: LIGHT FORESTED AREA WITH NO BUILDINGS, APPEARS TO BE USED FOR HORSE PATHS



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TAX LOT: 3S1010000500
ZONING: AF-5
USE: NORTH HALF OF PROPERTY IS UNUSED FORESTED AREA, SOUTH HALF IS PLEASANT RIDGE RV PARK

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ZONING: EFU (EXCLUSIVE FARM USE)
USE: CITY OF WILSONVILLE WATER TANK FACILITY

ADJACENT PROPERTY
TAX LOT: 3S1010000600
ZONING: EFU (EXCLUSIVE FARM USE)
USE: FORESTED AREA APPROXIMATELY FIRST 300' EAST OF SITE, THEN FARM FIELD. LOWER HALF OF PARCEL ALL FARM FIELDS

ADJACENT PROPERTY
TAX LOT: 3S1010000500
ZONING: AF-5
USE: NORTH HALF OF PROPERTY IS UNUSED FORESTED AREA, SOUTH HALF IS PLEASANT RIDGE RV PARK

ADJACENT PROPERTY
TAX LOT: 3S1010000600
ZONING: EFU (EXCLUSIVE FARM USE)
USE: FORESTED AREA APPROXIMATELY FIRST 300' EAST OF SITE, THEN FARM FIELD. LOWER HALF OF PARCEL ALL FARM FIELDS

EXHIBIT 1



PROJECT INFORMATION:

C-4
WILSONVILLE
TANK
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHIT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/29/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:



Don Cushing Associates
Civil Engineers
107 SE WASHINGTON STREET
SUITE 265
PORTLAND, OR 97214
(503) 387-5331
www.cushing-engr.com

LICENSURE:



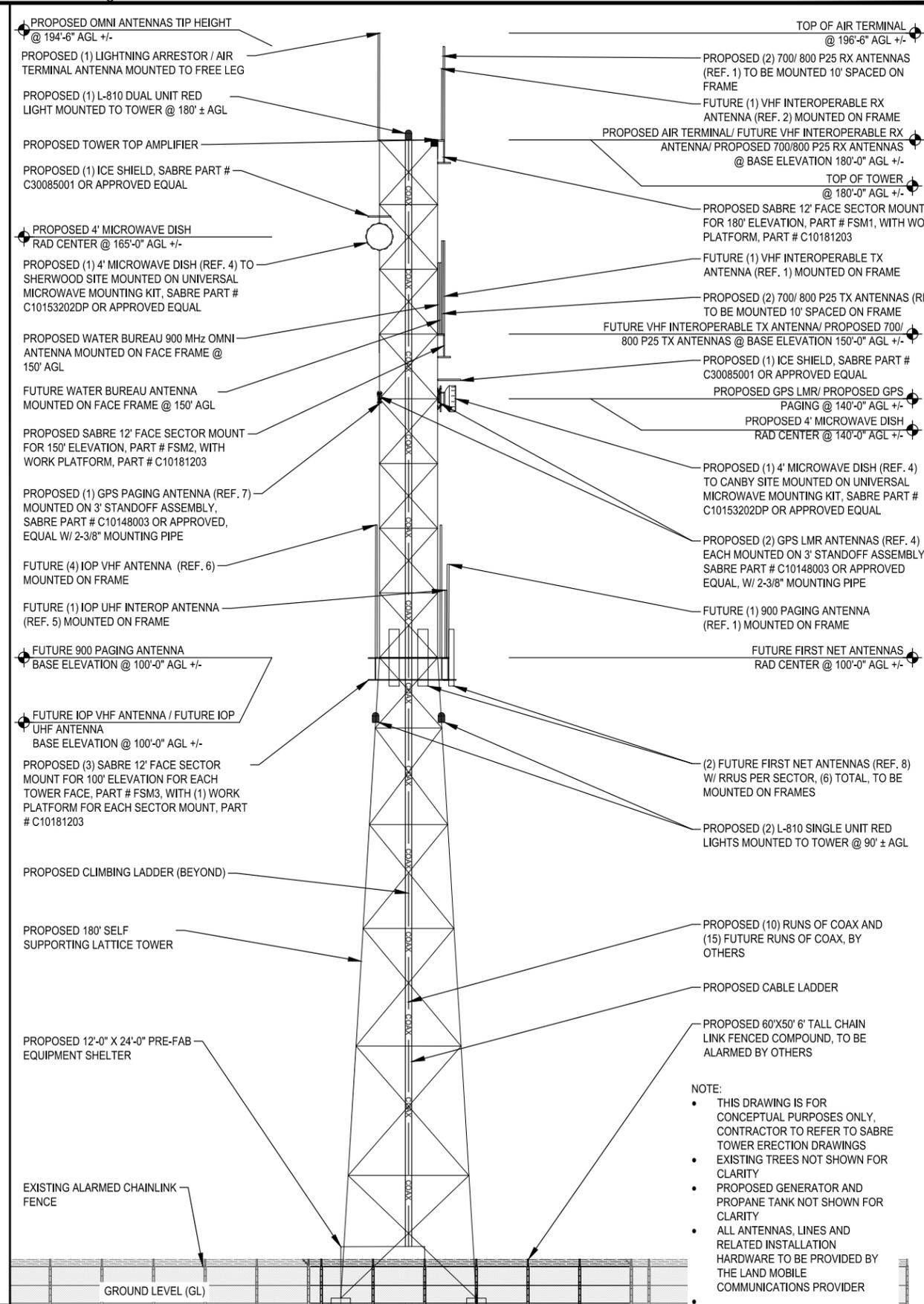
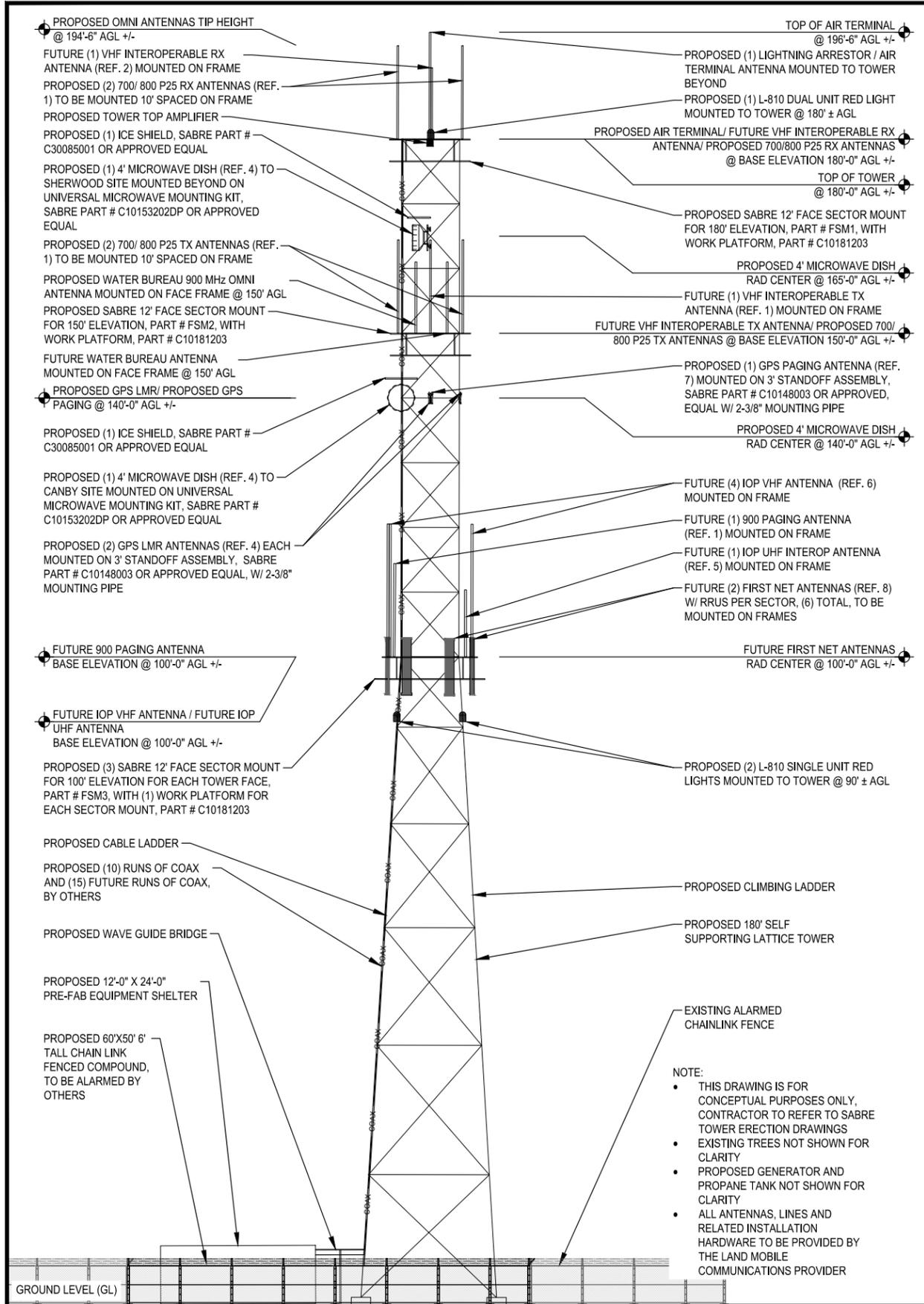
RENEWAL DATE 12/31/19

SHEET TITLE:

PROPOSED SITE
DEVELOPMENT
PLAN

SHEET NUMBER:

C-1.1



PROPOSED SOUTH ELEVATION

11X17 SCALE: 1" = 20' 22X34 SCALE: 1" = 10' 1

PROPOSED WEST ELEVATION

11X17 SCALE: 1" = 20' 22X34 SCALE: 1" = 10' 2

EXHIBIT 1



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RENEWAL DATE 12/31/19

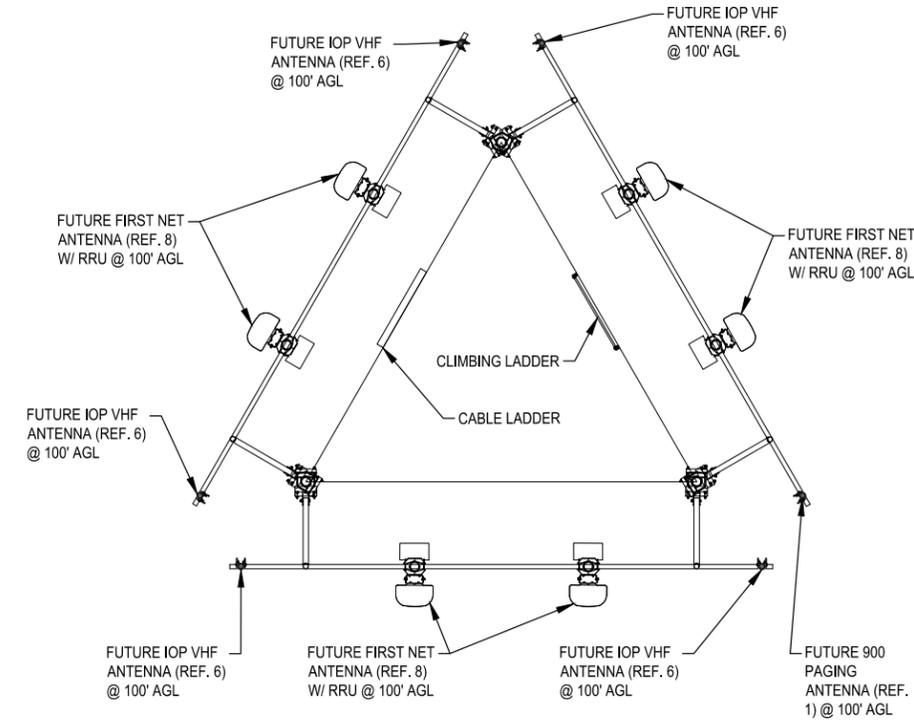
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ELEVATIONS

SHEET NUMBER:

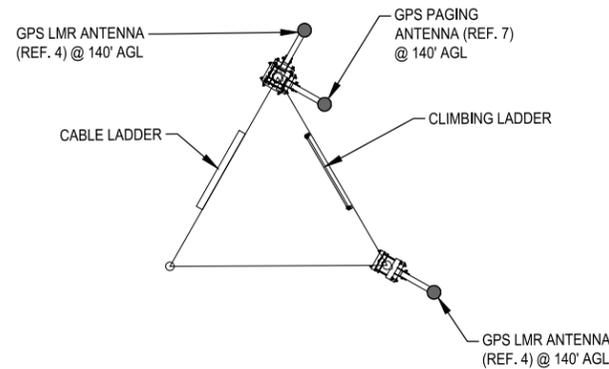
C-3

WORK PLATFORM NOT SHOWN FOR CLARITY



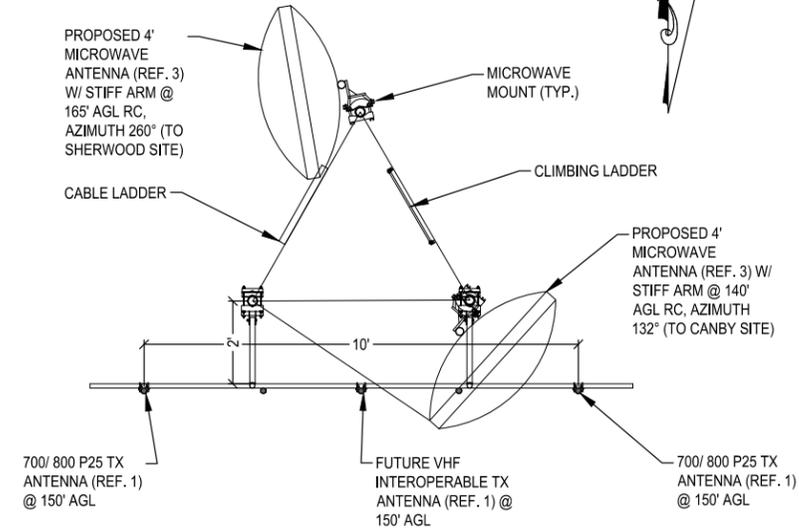
1 AZIMUTH DIAGRAM (100' ELEVATION)
SCALE: N.T.S.

GENERAL NOTES
ALL ANTENNAS, LINES AND RELATED INSTALLATION HARDWARE TO BE PROVIDED BY THE LAND MOBILE COMMUNICATIONS PROVIDER.



2 AZIMUTH DIAGRAM (140' ELEVATION)
SCALE: N.T.S.

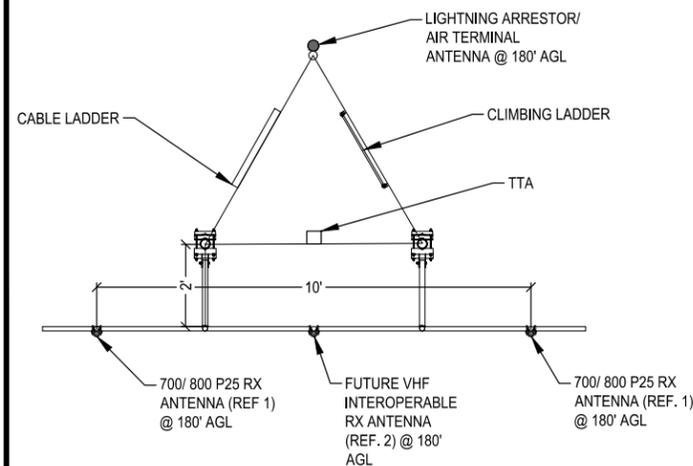
NOTE: TOWER AND TOWER FOUNDATION STRUCTURAL INFO BY OTHERS



MICROWAVE ICE SHIELDS NOT SHOWN FOR CLARITY, SEE SHEET C-8
WORK PLATFORM NOT SHOWN FOR CLARITY

3 AZIMUTH DIAGRAM (TX ELEVATION)
SCALE: N.T.S.

WORK PLATFORM NOT SHOWN FOR CLARITY



4 AZIMUTH DIAGRAM (RX ELEVATION)
SCALE: N.T.S.

REF. #	ITEM TYPE	BASE ELEVATION	QUANTITY	MFGR	MODEL #	DIMENSIONS	WEIGHT	FEED TYPE	QUANTITY OF FEEDS	LENGTH PER RUN	FEED LINE SIZE	FEED LINE WEIGHT
1	700/ 800 P25 RX ANTENNA	180'	2	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	AVA5-50	2	200'	7/8" Ø	0.30 lb/ft
2	VHF INTEROPERABLE RX ANTENNA	180'	1 FUTURE	SINCLAIR	SD310/210D-SF2P2SNM	132"x42.5"x4.5"	19 lbs	AVA5-50A / LDF4-50A	2 FUTURE	200'	7/8" Ø / 1/2" Ø	0.30 lb/ft / 0.15 lb/ft
-	LIGHTNING ARRESTOR	180'	1	SABRE	UNKNOWN	6' x 3/4" O.D	319 lbs	AVA5-50	1	200'	7/8" Ø	0.30 lb/ft
-	TOWER TOP AMPLIFIER	177'	1	BIRD	437-831-01-T	11.3"x7"x10.2"	25 lbs	LDF4-50A	1	220'	1/2"	0.15 lb/ft
3	MICROWAVE	165'	1	ANDREW	VHLP4-11-6WH/B	50.8" Ø	71 lbs	EUPEN EU90	1	175'	1.29" x 0.78"	0.34 lb/ft
1	VHF INTEROPERABLE TX ANTENNA	150'	1 FUTURE	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	LDF4-50A	1 FUTURE	170'	1/2" Ø	0.15 lb/ft
1	700/ 800 P25 TX ANTENNA	150'	2	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	AVA5-50	2	170'	7/8" Ø	0.30 lb/ft
1	WATER BUREAU 900 MHz OMNI	150'	1	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	AVA5-50	1	170'	7/8" Ø	0.30 lb/ft
1	WATER BUREAU OMNI	150'	1 FUTURE	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	AVA5-50	1 FUTURE	170'	7/8" Ø	0.30 lb/ft
4	GPS LMR ANTENNA	140'	2	TRIMBLE	BULLET III	3.05"x2.61"	7.0 oz	LDF4-50A	2	160'	1/2" Ø	0.15 lb/ft
7	GPS PAGING ANTENNA	140'	1	TRIMBLE	ACCUTIME	3.74"x2.85"	5.4 oz	LDF4-50A	1	160'	1/2" Ø	0.15 lb/ft
3	MICROWAVE	140'	1	ANDREW	VHLP4-11-6WH/B	50.8" Ø	71 lbs	EUPEN EU90	1	140'	1.29" x 0.78"	0.34 lb/ft
6	IOP VHF ANTENNA	100'	5 FUTURE	COMPROD	884-70HDB	246"x31"	78 lbs	LDF4-50A	4 FUTURE	120'	1/2" Ø	0.15 lb/ft
1	900 PAGING ANTENNA	100'	1 FUTURE	SINCLAIR	SC479-HL	173.4"x3.5" O.D.	34 lbs	AVA5-50	1 FUTURE	120'	7/8" Ø	0.30 lb/ft
5	IOP UHF ANTENNA	100'	1 FUTURE	COMPROD	784-70HDB	126"x12.75"	38 lbs	LDF4-50A	1 FUTURE	120'	1/2" Ø	0.15 lb/ft
8	FIRST NET ANTENNA	100'	6 FUTURE	KATHREIN	80010992	105.2"x20"x6.9"	133.4 lbs	HB114-U6S12	6 FUTURE	120'	1.54" Ø	1.7 lb/ft
-	FIRST NET RRUS	100'	6 FUTURE	TBD	TBD	23"x13"x6.7"	60 lbs	N/A	N/A	N/A	N/A	N/A

5 TOWER MOUNTED EQUIPMENT SPECIFICATION CHART
SCALE: N.T.S.

EXHIBIT 1



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C-4 WILSONVILLE TANK
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

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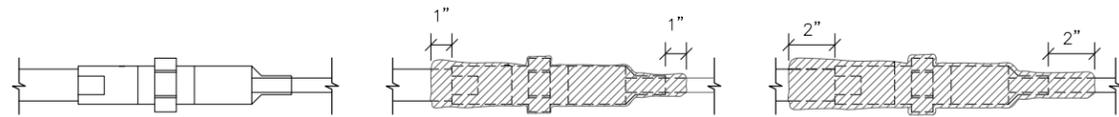
RENEWAL DATE 12/31/19

SHEET TITLE:

RF PLAN & SCHEDULE

SHEET NUMBER:

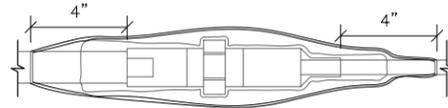
C-5



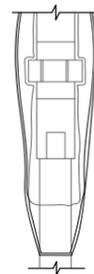
STEP 1

STEP 2

STEP 3



STEP 4



INSTALLATION NOTES:

'SCOTCH' 23 ALL-VOLTAGE SPICING TAPE SHOULD BE APPLIED IN SUCCESSIVE, HALF-LAPPED, LEVEL-WOUND LAYERS UNTIL DESIRE BUILDUP IS REACHED. TO ELIMINATE VOIDS IN CRITICAL AREAS, HIGHLY ELONGATE 23 TAPE. STRETCH TAPE IN THESE CRITICAL AREAS JUST SHORT OF ITS BREAKING POINT. DOING SO WILL NOT ALTER ITS PHYSICAL OR ELECTRICAL PROPERTIES. IN LESS CRITICAL AREAS, LESS ELONGATION MAY BE USED. NORMALLY, 23 TAPE IS STRETCHED TO 3/4 OF ITS ORIGINAL WIDTH IN THESE LESS CRITICAL AREAS. ALWAYS ATTEMPT TO HALF-LAP TO PRODUCE A UNIFORM BUILDUP. WHEN USING 23 TAPE FOR SPLICING CABLES FROM 35KV TO 69KV, ALWAYS ELONGATE THE TAPE THROUGHOUT THE ENTIRE SPLICE.

'SCOTCH' VINYL ELECTRICAL TAPE SHALL BE APPLIED IN HALF-LAPPED LAYERS WITH SUFFICIENT TENSION TO PRODUCE A UNIFORM WIND. ON PIGTAIL SPLICES, THE TAPE SHALL BE WRAPPED BEYOND THE END OF THE WIRES AND THEN FOLDED BACK, LEAVING A PROTECTIVE CUSHION TO RESIST CUT-THROUGH. WRAP TAPE UP-HILL, TAPING FROM A SMALLER DIAMETER SURFACE TO A LARGER DIAMETER SURFACE. APPLY THE TAPE WITH NO TENSION ON THE LAST WRAP TO PREVENT FLAGGING.



MODEL NUMBER 437-831-01-T	WEIGHT 25 lbs
MANUFACTURER BIRD TECHNOLOGIES	DIAMETER 11.3"X7"X10.2"

2 TOWER TOP AMPLIFIER DETAIL
SCALE: N.T.S.



REF. # 7	MODEL NUMBER ACCUTIME	WEIGHT 5.4 oz
	MANUFACTURER TRIMBLE	DIMENSIONS 3.74"x2.85"

REF. # 4	MODEL NUMBER BULLET III	WEIGHT 7 oz
	MANUFACTURER TRIMBLE	DIMENSIONS 3.05"x2.61"

3 GPS ANTENNA DETAILS
SCALE: N.T.S.

1 COAX CABLE WEATHERPROOFING
SCALE: N.T.S.

* NOTE:
ALL ANTENNAS, LINES AND RELATED INSTALLATION HARDWARE TO BE PROVIDED BY THE LAND MOBILE COMMUNICATIONS PROVIDER.

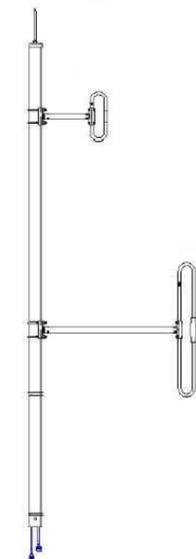
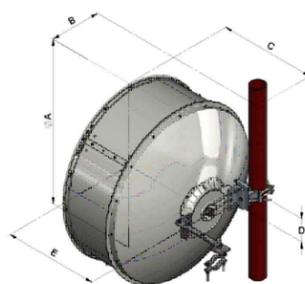


IMAGE MAY DIFFER FROM ACTUAL MICROWAVE DISH



DIMENSIONS IN INCHES					
ANTENNA SIZE, FT	A	B	C	D	E
4	50.8	16	30.2	7.2	29.5

REF. # 3	MODEL NUMBER VHLP4-11W-6WH/B	WEIGHT 71 lbs
	MANUFACTURER ANDREW	DIAMETER 50.8"

5 4' MICROWAVE DISH DETAIL
SCALE: N.T.S.

REF. # 1	MODEL NUMBER SC479-HL	WEIGHT 34 lbs
	MANUFACTURER SINCLAIR	DIMENSIONS 173.4"x3.5"Ø

6 ANTENNA DETAILS
SCALE: N.T.S.

REF. # 2	MODEL NUMBER SD310/210D	WEIGHT 19 lbs
	MANUFACTURER SINCLAIR	DIMENSIONS 132"x42.5"x4.5"

REF. # 6	MODEL NUMBER 884-70HDB	WEIGHT 78 lbs
	MANUFACTURER COMPROD	DIMENSIONS 246"x31"

REF. # 5	MODEL NUMBER 784-70HDB	WEIGHT 38 lbs
	MANUFACTURER COMPROD	DIMENSIONS 126"x12.75"

SEE TOWER DRAWINGS BY OTHERS FOR DETAILS

4 LIGHTNING ARRESTOR/ AIR TERMINAL DETAILS
SCALE: N.T.S.

FIRST NET ANTENNAS



REF. # 8	MOUNTING ACCESSORIES SEPARATE	
	MODEL NUMBER 80010992	WEIGHT 133.4 lbs
	MANUFACTURER KATHREIN	DIMENSIONS 105.2"X20"X6.9"

EXHIBIT 1



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TANK**
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LICENSURE:



RENEWAL DATE 12/31/19

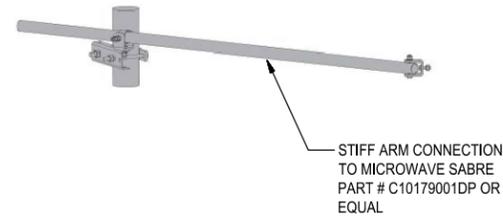
SHEET TITLE:

RF DETAILS

SHEET NUMBER:

C-6

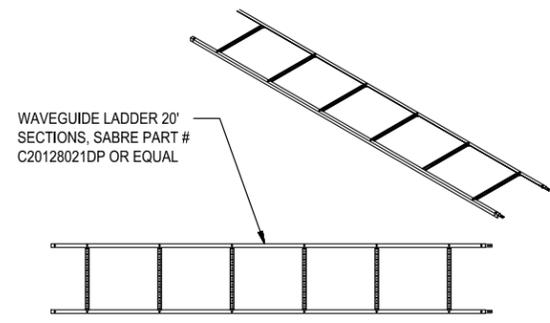
NOTE:
ALL MICROWAVE MOUNTING AND ICE SHIELD INSTALLATIONS BY OTHERS



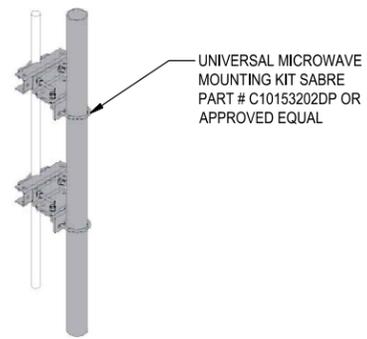
1 MICROWAVE STIFF ARM DETAIL
SCALE: N.T.S.

2 NOT IN USE
SCALE: N.T.S.

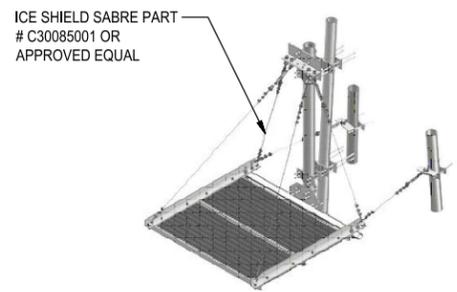
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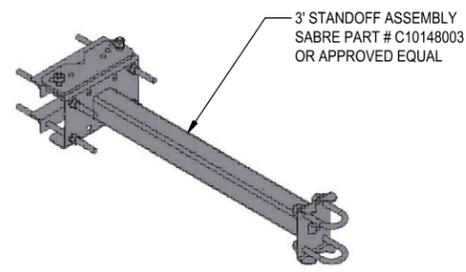
4 WAVEGUIDE LADDER DETAIL
SCALE: N.T.S.



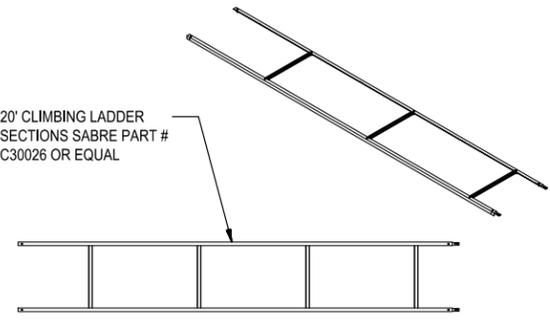
5 MICROWAVE MOUNTING DETAILS
SCALE: N.T.S.



6 MICROWAVE DISH ICE SHIELD DETAIL
SCALE: N.T.S.



7 GPS ANTENNA MOUNTING DETAIL
SCALE: N.T.S.



8 SAFETY CLIMBING LADDER DETAIL
SCALE: N.T.S.

EXHIBIT 1



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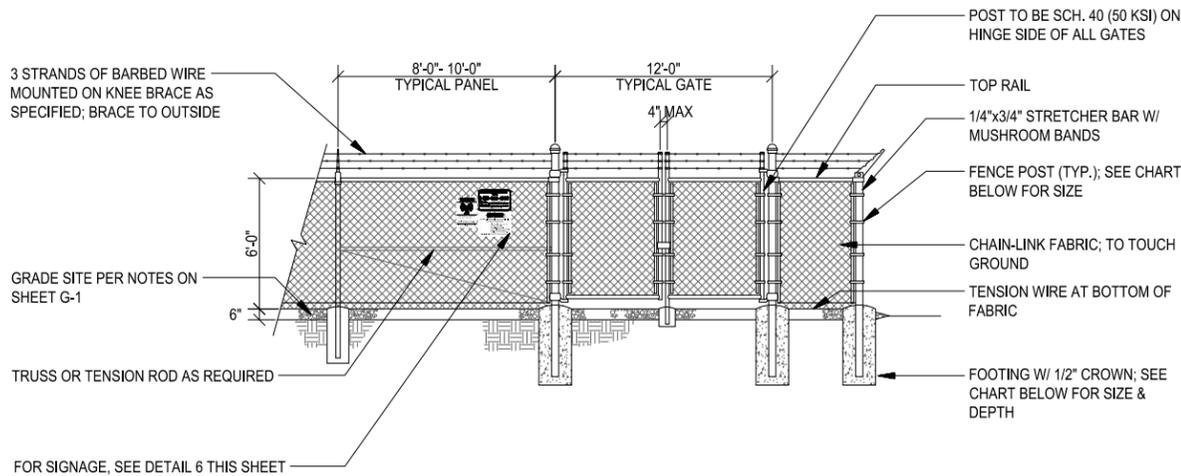
RENEWAL DATE 12/31/19

SHEET TITLE:

**TOWER RELATED
EQUIPMENT
DETAILS I**

SHEET NUMBER:

C-8



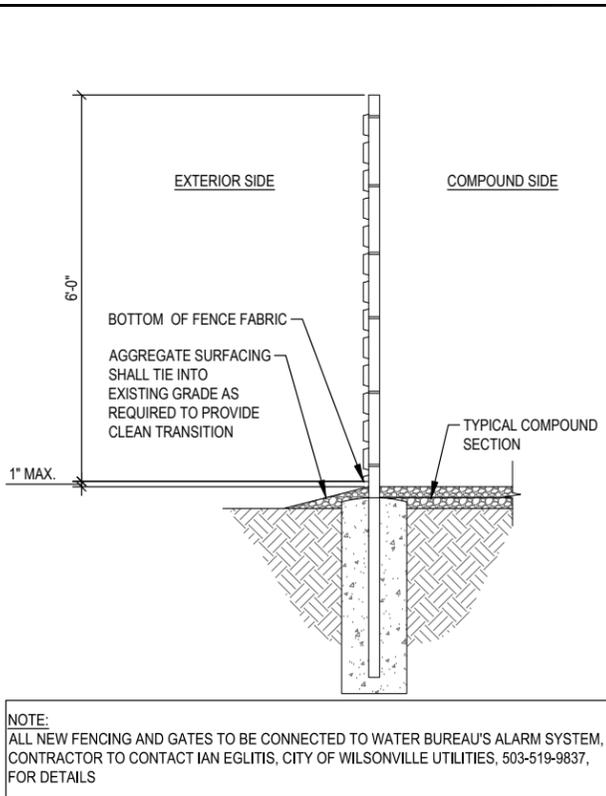
FENCE & GATE NOTES:

1. GATE FRAME-1-7/8" OD, TOP & BRACE RAIL-1-5/8" OD, SCH. 40 (50 KSI) ASTM-F1083.
2. FABRIC: 9 GA. CORE WIRE SIZE 2" MESH FABRIC; FABRIC TO TOUCH GRAVEL BASE.
3. TIE WIRE: MINIMUM 11 GA. GALVANIZED STEEL.
4. BARBED WIRE: 12" (3) STRAND.
5. GATE LATCH: SEE DETAIL 5 THIS SHEET; VERIFY WITH CONSTRUCTION MANAGER.

6' HIGH GATE/FENCE			
POST TYPE	POST DIAMETER	FOOTING SIZE	NOTES:
LINE POST	2-3/8"Ø	12"Øx33"	<ol style="list-style-type: none"> 1. ALL POSTS: SCH. 40 (50 KSI) ASTM-F1083 2. ALL FENCING TO BE ENGINEERED BY FENCING MANUFACTURER & APPROVED BY PROJ. MGR. FENCE MANUFACTURER IS TO VERIFY ADEQUACY OF TABULATED POST & FOOTING SIZES
CORNER POST	4"Ø	16"Øx36"	
GATE POST	4"Ø	16"Øx36"	

TYPICAL FENCE ELEVATION

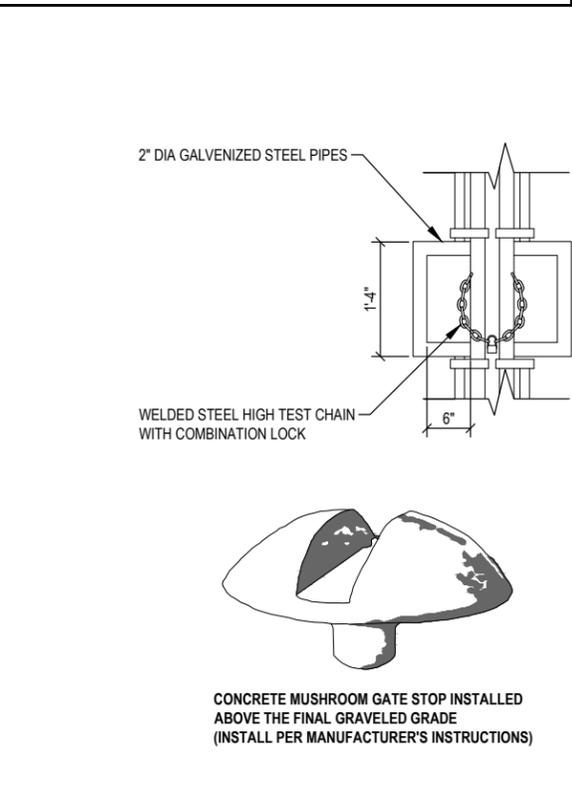
SCALE: NTS 1



NOTE:
ALL NEW FENCING AND GATES TO BE CONNECTED TO WATER BUREAU'S ALARM SYSTEM, CONTRACTOR TO CONTACT IAN EGLITIS, CITY OF WILSONVILLE UTILITIES, 503-519-9837, FOR DETAILS

TYPICAL FENCE SECTION

SCALE: NTS 4



GATE LOCK & CENTER STOP

SCALE: NTS 5

FENCING NOTES:

1. GATE POST, CORNER, END, OR PULL POST 4" NOMINAL (4" O.D.) SCHEDULE 40 (50 KSI) PIPE, FOR GATE WIDTHS UP TO 6 FEET OR 12 FEET FOR DOUBLE SWING GATE PER ASTM-F1083.
2. LINE POST: 2-3/8" O.D. 3.65 LBS/LIN FT. ASTM-F1083.
3. TOP RAIL AND BRACE RAIL: 1-1/2" (1.9" O.D.) PIPE 2.72 LBS/LIN FT PER ASTM-F1083. INSTALL BRACE AT ALL CORNER LOCATIONS AND ADJACENT TO GATES.
4. GATE FRAME: 1-1/2" (1.9 O.D.) 2.72 LBS/LIN FT. ASTM-F1083.
5. FABRIC SHALL BE TWO-INCH CHAINLINK MESH NO. 9 GAUGE (0.148") WIRE. THE FABRIC SHALL HAVE A KNUCKLED FINISH FOR THE TOP SELVAGES. FABRIC SHALL CONFORM TO ASTM A-392 CLASS 1.
6. TIE WIRE: MINIMUM 11GA. GALVANIZED STEEL. PROVIDE A SINGLE WRAP OF FABRIC, TIE AT POSTS, RAILS, AND AT TENSION WIRE BY HOG RINGS. MAXIMUM SPACING 24" O.C.
7. TENSION WIRE: MINIMUM 7 Ga. GALVANIZED STEEL.
8. U.N.O. BARBED WIRE: DOUBLE STRAND 12 Ga. 1/2" O.D. TWISTED WIRE TO MATCH W/ FABRIC, 14 Ga. 4PT. BARBS SPACED ON APPROX. 5" CENTERS.
9. U.N.O. BARBED WIRE GATE GUARDS SHALL BE FITTED WITH DOME CAPS.
10. U.N.O. BARBED WIRE SUPPORT ARMS SHALL BE PRESSED STEEL COMPLETE WITH SET BOLT AND LOCK WIRE IN THE ARM.
11. PROVIDE TWO 5 FOOT WIDE OUT SWINGING GATES, (UNLESS NOTED OTHERWISE). NO PERSONNEL GATES ARE REQUIRED (UNLESS AS DIRECTED BY THE CONSTRUCTION MANAGER). GATES SHALL BE ABLE TO LOCK.

12. U.N.O. GATE POSTS SHALL BE EXTENDED 12 INCHES, INCLUDING DOME CAP, TO PROVIDE FOR ATTACHMENT OF BARBED WIRE.
13. GATE FRAMES SHALL HAVE A FULL-HEIGHT VERTICAL BRACE, AND A FULL-WIDTH HORIZONTAL BRACE, SECURED IN PLACE BY USE OF GATE BRACE CLAMPS. GATE HINGES SHALL BE MERCHANTS METAL MODEL 64386 HINGE ADAPTOR WITH MODEL 6409, 180-DEGREE ATTACHMENT OR APPROVED EQUAL.
14. GATE LATCH: 1-3/8" O.D. PLUNGER ROD W/ MUSHROOM TYPE CATCH.
15. A 6" X 1/2" DIAMETER EYEBOLT TO HOLD TENSION WIRE SHALL BE PLACED AT LINE POSTS.
16. STRETCHER BARS SHALL BE 3/16" OR HAVE EQUIVALENT CROSS-SECTIONAL AREA.
17. U.N.O. ALL POSTS EXCEPT GATE POSTS SHALL HAVE A COMBINATION CAP AND BARBED WIRE SUPPORTING ARM.
18. ALL CAPS SHALL BE MALLEABLE IRON, DOME OR ACORN SHAPED AS REQUIRED BY PIPE SIZE.
19. OTHER HARDWARE MAY INCLUDE BUT NOT BE LIMITED TO TIE CLIPS, BAND CLIPS AND TENSION BAND CLIPS.
20. U.N.O. WHERE THE USE OF CONCERTINA HAS BEEN SPECIFIED, 24" DIAMETER COIL BARBED TAPE, STAINLESS STEEL, CYCLONE FENCE MODEL G8P TO TYPE III SHALL BE FURNISHED. IT SHALL BE SUPPORTED ABOVE THE TOP RAIL BY USE OF SIX (6) BARBED WIRE ARMS POSITIONED ATOP EACH LINE/CORNER POST.
21. U.N.O. ALL CHAINLINK FENCING COMPONENTS MUST BE HOT DIPPED GALVANIZED.
22. WHEN IN USE, PRIVACY SLATS TO BE A NEUTRAL COLOR.

GENERAL FENCE NOTES

SCALE: NTS 2

EXTERIOR SHELTER LIGHT PROVIDED WITH STATE APPROVED SHELTER



MODEL NUMBER SLIM18/PC	WEIGHT 4.5 lbs
MANUFACTURER RAB LIGHTING	DIMENSIONS 6.5"X8.75"X3.9"

LED SHELTER LIGHT

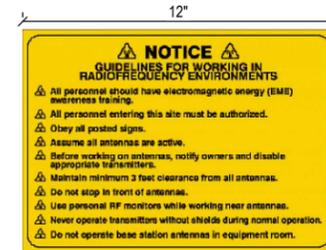
SCALE: NTS 3



- SIGN NOTES:**
1. SIGN MATERIAL: 18GA ALUMINUM
 2. LETTERING COLOR = BLACK
 3. BACKGROUND COLOR = WHITE / RED



- SIGN NOTES:**
1. SIGN MATERIAL: 18GA ALUMINUM
 2. LETTERING COLOR = BLACK / WHITE
 3. BACKGROUND COLOR = WHITE / BLUE



- SIGN NOTES:**
1. SIGN MATERIAL: 18GA ALUMINUM
 2. LETTERING COLOR = BLACK
 3. BACKGROUND COLOR = YELLOW



- SIGN NOTES:**
1. SIGN MATERIAL: 18GA ALUMINUM
 2. LETTERING COLOR = BLACK / WHITE
 3. BACKGROUND COLOR = WHITE / GREEN

SIGN DETAILS

SCALE: NTS 6

EXHIBIT 1



PROJECT INFORMATION:

**C-4
WILSONVILLE
TANK**
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
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2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/29/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:



**Don Cushing Associates
Civil Engineers**

107 SE WASHINGTON STREET
SUITE 265
PORTLAND, OR 97214
(503) 387-5331
www.cushing-engr.com

LICENSURE:



RENEWAL DATE 12/31/19

SHEET TITLE:

**COMPOUND
DETAILS I**

SHEET NUMBER:

C-9

EXHIBIT 1



PROJECT INFORMATION:

**C-4
WILSONVILLE
TANK**
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

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LICENSURE:



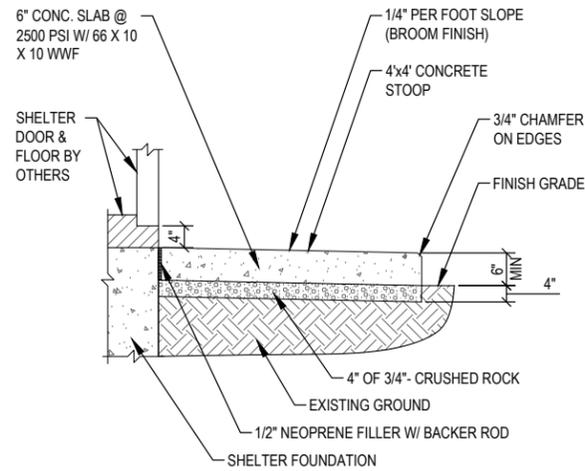
RENEWAL DATE 12/31/19

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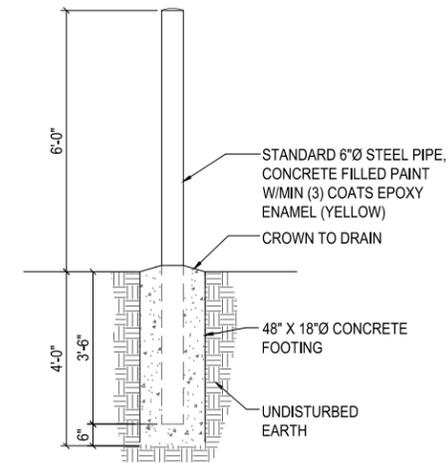
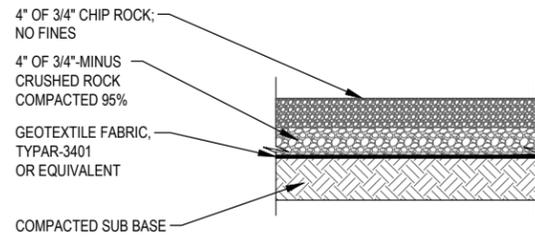
**COMPOUND
DETAILS II**

SHEET NUMBER:

C-10



NOTE: STRIP ALL ORGANICS



CONCRETE SHELTER ENTRANCE SECTION DETAIL

SCALE: NTS

1

COMPOUND SECTION DETAIL

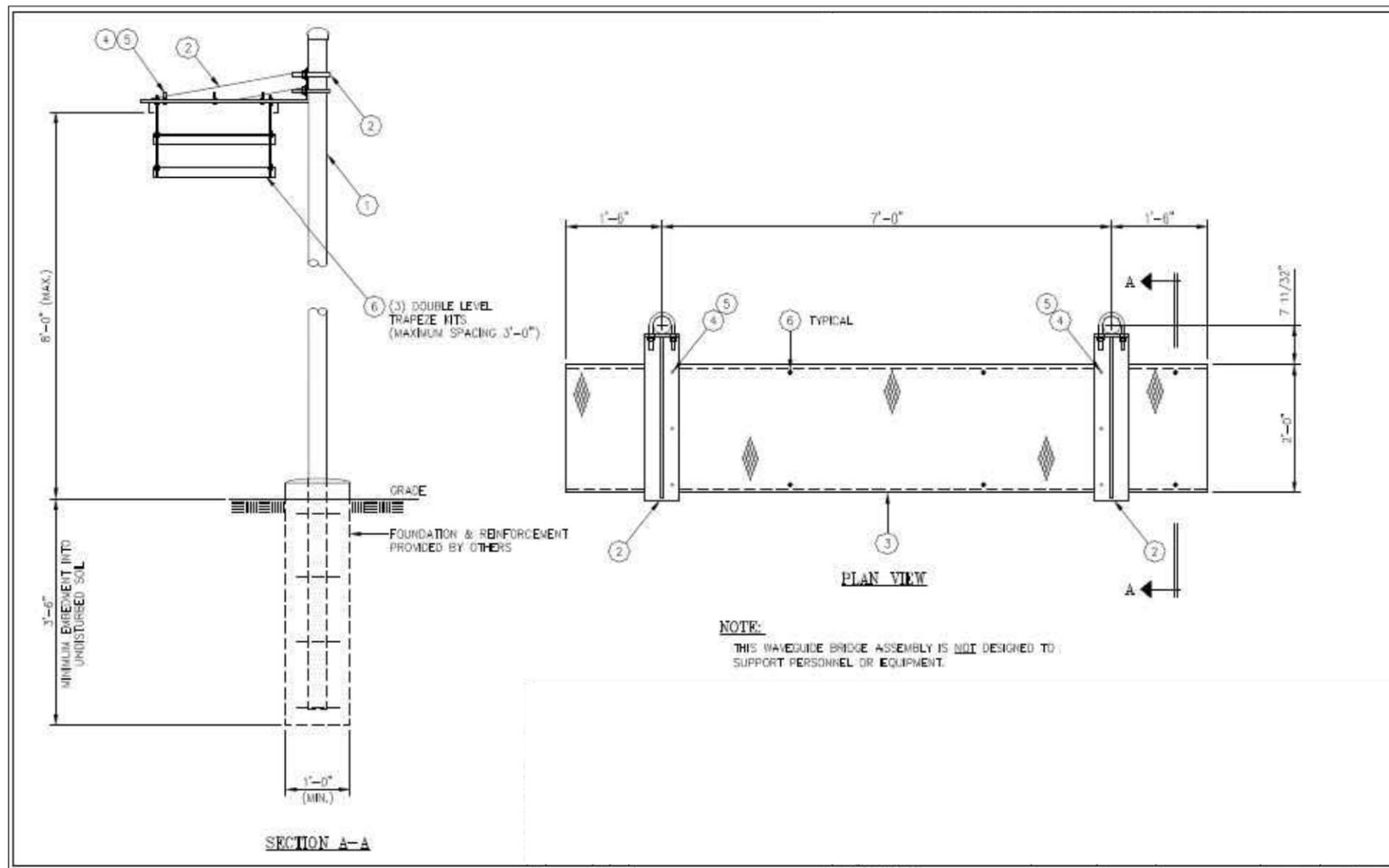
SCALE: NTS

2

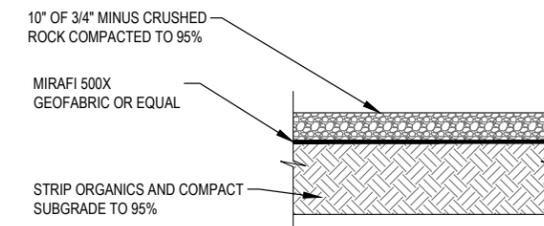
BOLLARD DETAIL

SCALE: NTS

3



NOTE:
THIS WAVEGUIDE BRIDGE ASSEMBLY IS NOT DESIGNED TO SUPPORT PERSONNEL OR EQUIPMENT.



TYPICAL GRAVEL ROAD SECTION

SCALE: NTS

5

SEE TOWER DRAWINGS BY OTHERS FOR DETAILS

WAVE GUIDE DETAIL

SCALE: NTS

4

NOT IN USE

SCALE: NTS

6

EXHIBIT 1



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WILSONVILLE
TANK**
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

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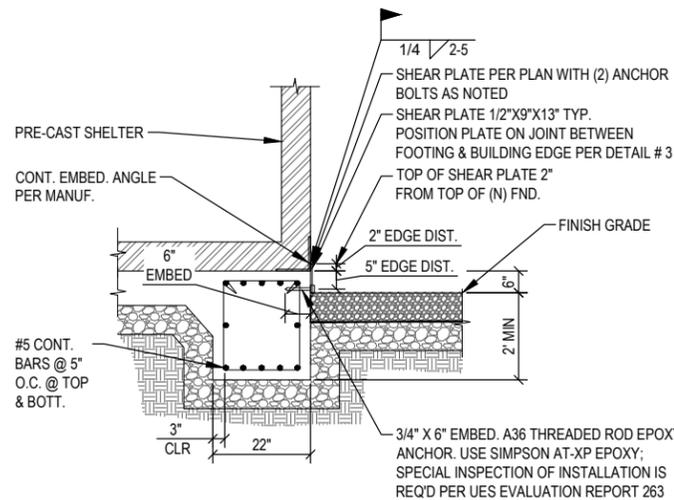
RENEWAL DATE 12/31/19

SHEET TITLE:

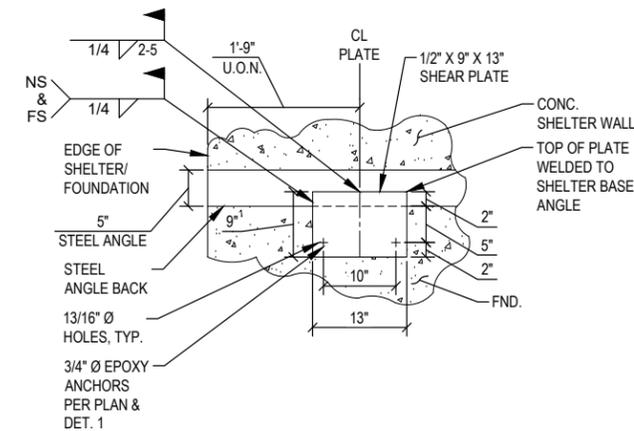
**EQUIPMENT
SHELTER
FOUNDATION PLAN**

SHEET NUMBER:

C-11



NOTE: SEE DET. 3 FOR ADD'L INFORMATION NOT NOTED

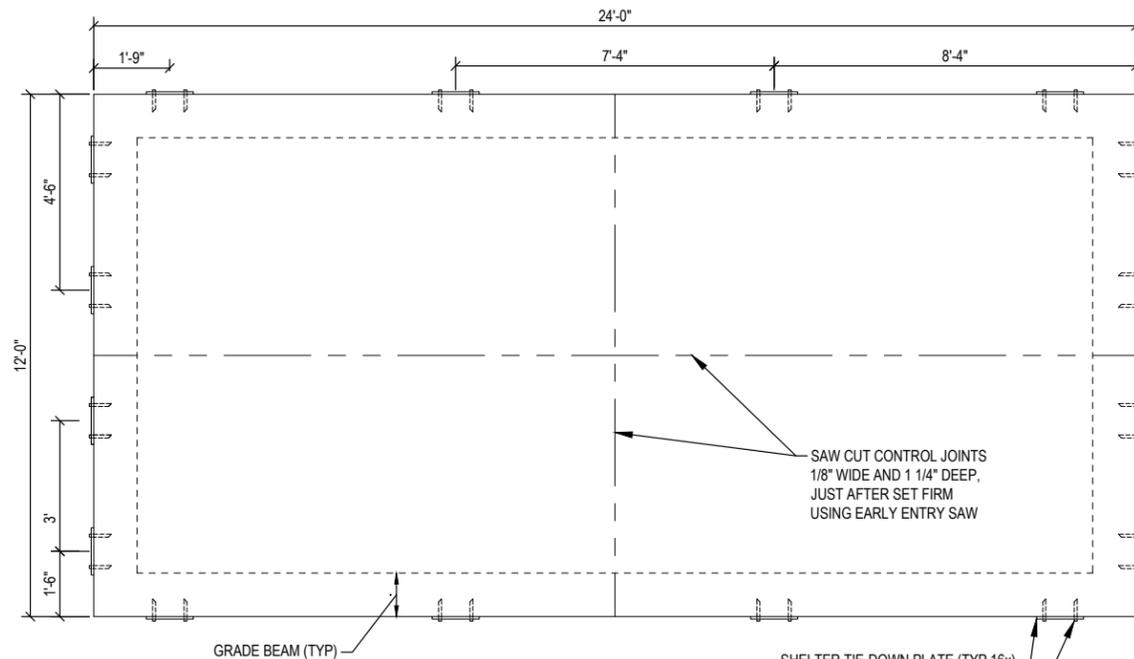


SHELTER TIE DOWN DETAIL

SCALE: NTS **1** NOT IN USE

SHEAR PLATES

SCALE: NTS **3**



NOTES:

1. SEE DETAIL 4 FOR ACTUAL PLACEMENT OF SHELTER SLAB REINFORCEMENT IN ORDER TO AVOID CONTACT WITH SHEAR PLATE EPOXY ANCHORS

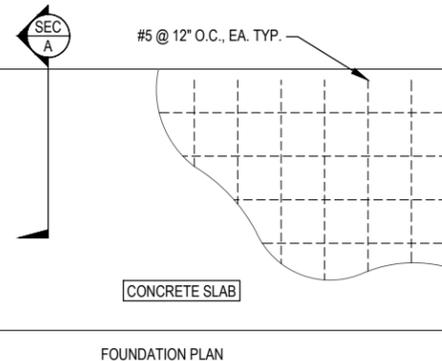
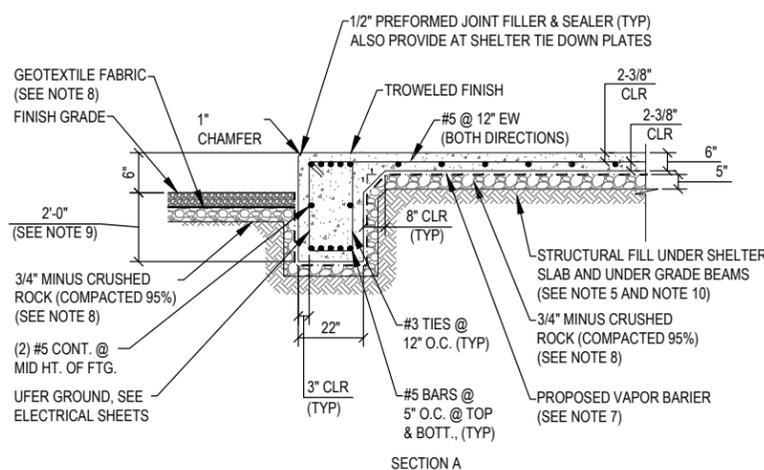
**OREGON APPROVED PREFABRICATED STRUCTURE
OREGON PLAN # M231-17-5868D
LIGHT GRAY COLOR**

NOTES:

- ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 2500 PSI FOR SHELTER FOUNDATIONS.
- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 "DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT," LATEST EDITION, GRADE 60.
- LAP LENGTH FOR SPLICES SHALL NOT BE LESS THAN CLASS B SPLICE, UNLESS OTHERWISE SPECIFIED. WELDING OF REINFORCEMENT WILL NOT BE PERMITTED.
- CONTRACTOR MAY USE EARTH FORMS FOR UNEXPOSED CONCRETE WHERE SOIL IS FIRM AND STABLE. EARTH FORMS SHALL BE TRENCHED NEATLY AND ACCURATELY. SIDES OF FOUNDATIONS, WHERE EARTH SLOUGHS, SHALL BE FORMED. EARTH FORMS SHALL BE TAMPED FIRM, AND CLEANED OF ALL DEBRIS AND LOOSE MATERIAL, BEFORE DEPOSITING CONCRETE.
- STRUCTURAL FILL USED FOR SITE GRADING SHALL BE FREE FROM TOP SOIL, ORGANIC CONTAMINATED SOIL, AND ROCK FRAGMENTS HAVING A MAXIMUM DIMENSION GREATER THAN 3 INCHES. MATERIAL SHALL BE CLEAN AND SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS.

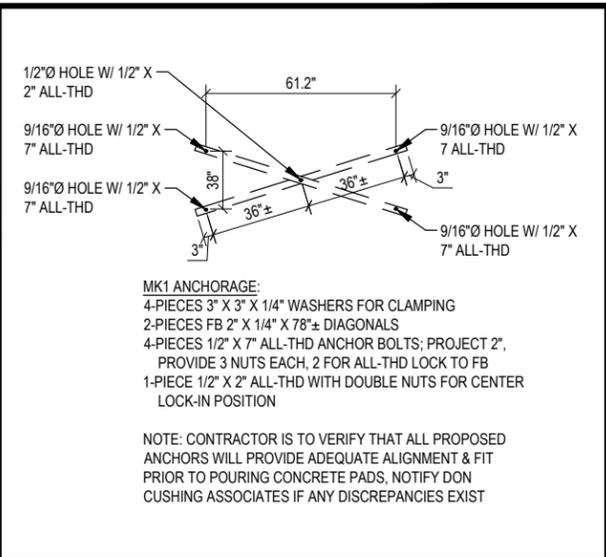
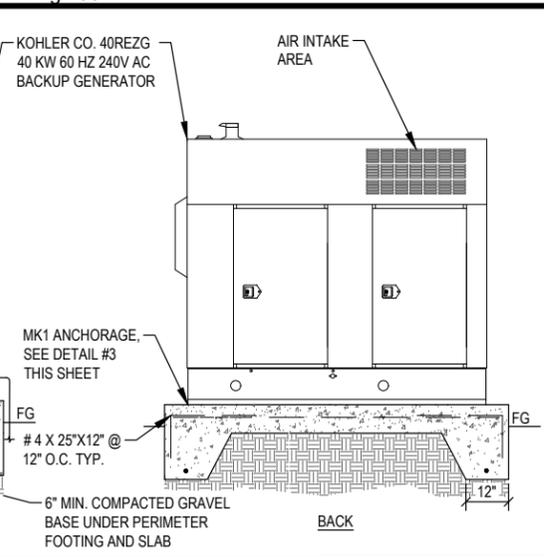
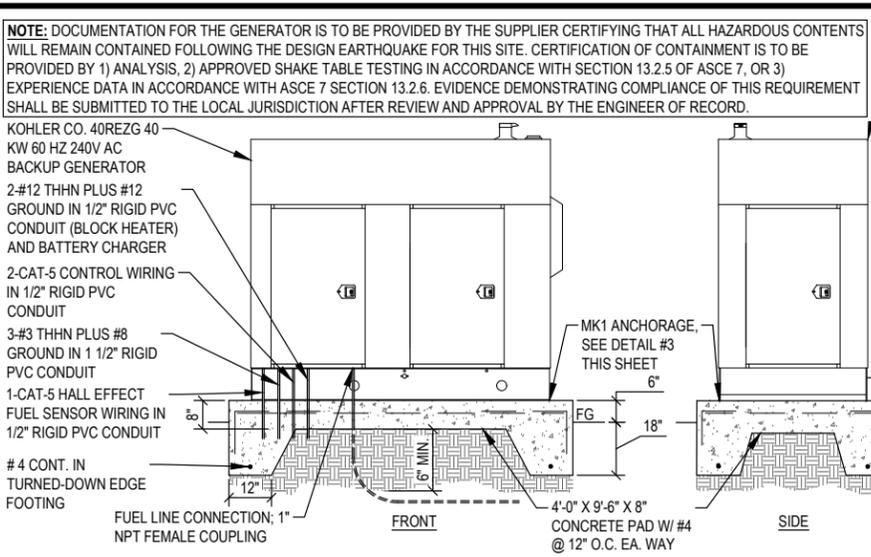
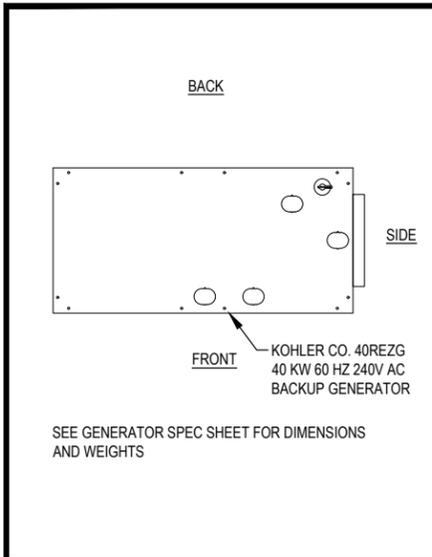
SILT CLAYS OR SANDY CLAY
PLASTICITY INDEX 10 TO 24
LIQUID LIMIT <45

CLAYEY SANDS OR SLIGHTLY CLAYEY SILTY SANDS
PLASTICITY INDEX 3 TO 15
LIQUID LIMIT <35
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED EARTH AND 1-1/2 INCHES FOR TOP BARS ON SIDEWALK AND SHELTER FOUNDATIONS.
- VAPOR BARRIER SHALL BE VAPORBLOCK 10, OR APPROVED EQUAL.
- CRUSHED ROCK AND GEOTEXTILE FABRIC IN THE COMPOUND AREA SHALL MEET THE REQUIREMENTS OF DETAIL 2 ON DWG C-10 AND ALL APPLICABLE GRADING NOTES.
- IN INSTANCES WHERE ROCK IS ENCOUNTERED AT LESS THAN 2'-0", CONCRETE MAY BEAR ON THE ROCK.
- SUBGRADE PREPARATION AND STRUCTURAL FILL SHALL ADHERE TO THE REQUIREMENTS IN THE GEOTECHNICAL REPORT AND SUPPLEMENT COMPLETE BY BLACK MOUNTAIN CONSULTING DATED 6/12/18.
- ALL CONNECTION PLATES ARE TO BE GALVANIZED.
- DESIGN IN ACCORDANCE WITH ESSENTIAL FACILITIES REQUIREMENTS.
- SHEAR PLATE ARE TO BE GALVANIZED 36 KSI STEEL
- EPOXY THREADED ROD ANCHORS, NUTS & WASHERS ARE TO BE GALVANIZED A36. ALL HARDWARE IS TO BE GALVANIZED.



EQUIPMENT SHELTER FOUNDATION PLAN

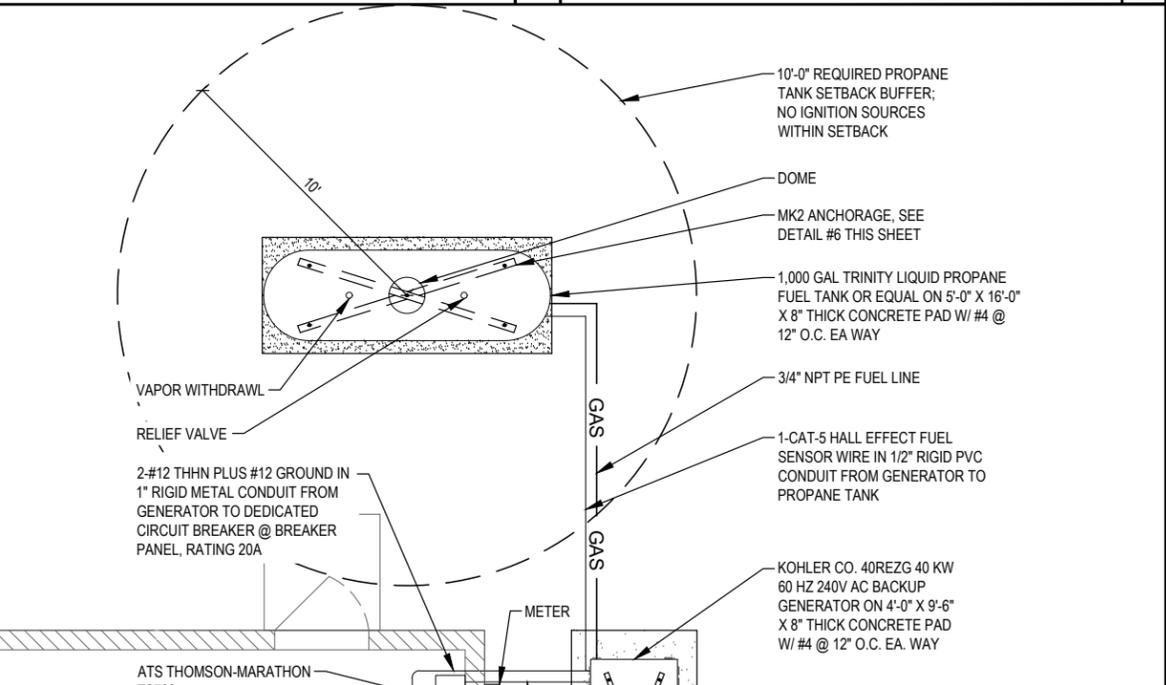
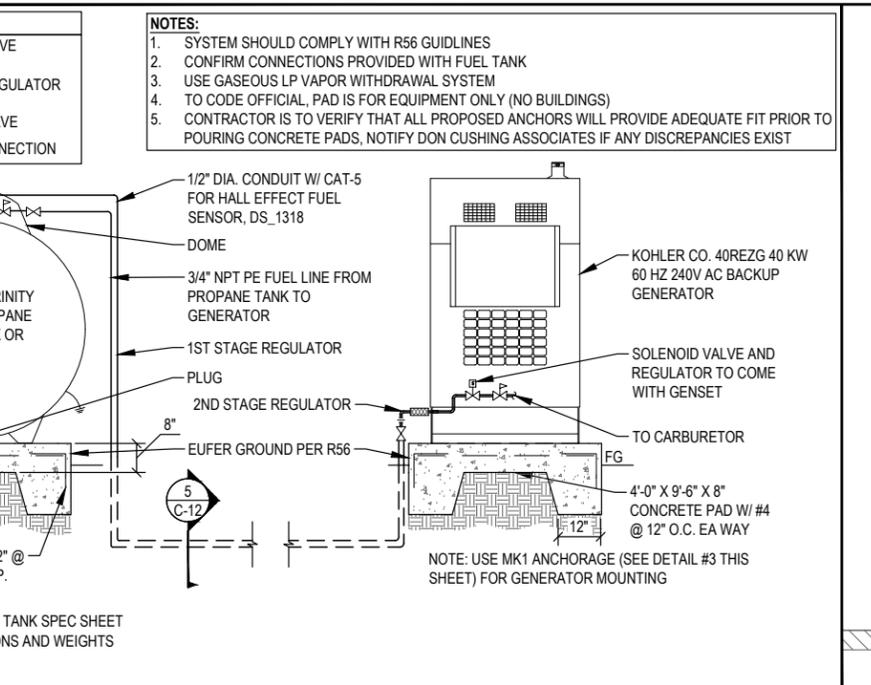
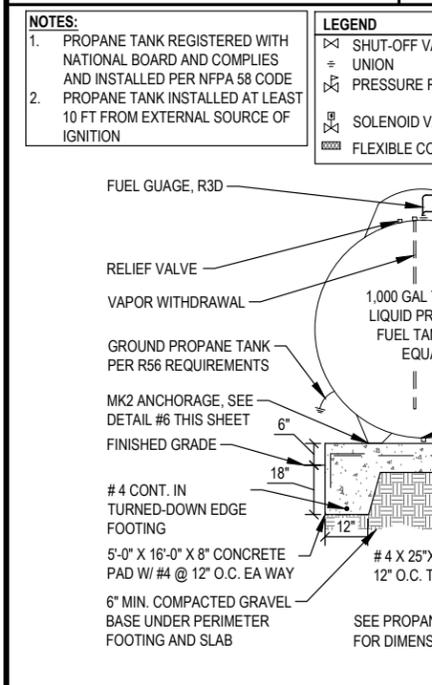
SCALE: NTS **4**



GENERATOR PLAN SCALE: NTS 1

GENERATOR ELEVATION SCALE: NTS 2

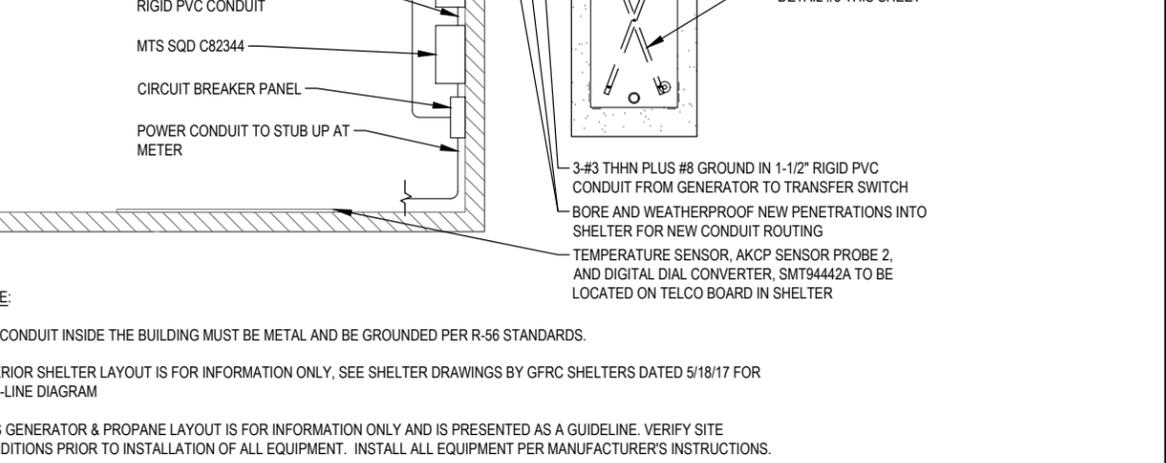
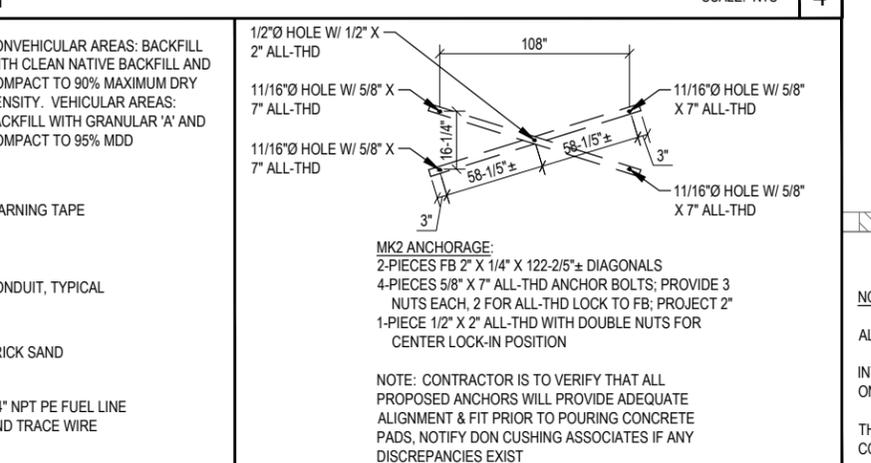
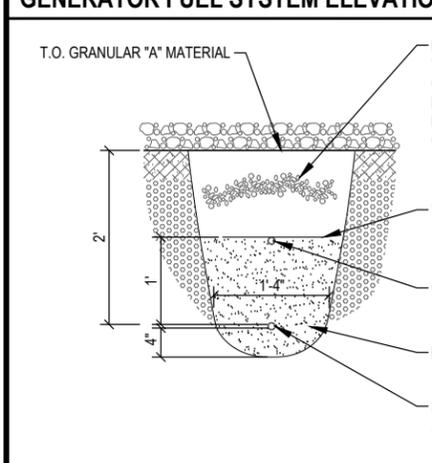
MK1 ANCHORAGE SCALE: NTS 3



GENERATOR FUEL SYSTEM ELEVATION SCALE: NTS 4

TRENCH SECTION SCALE: NTS 5

MK2 ANCHORAGE SCALE: NTS 6



TRENCH SECTION SCALE: NTS 5

MK2 ANCHORAGE SCALE: NTS 6

TYPICAL GENERATOR LAYOUT SCALE: NTS 7

EXHIBIT 1



PROJECT INFORMATION:

C-4 WILSONVILLE TANK

8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

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Civil Engineers

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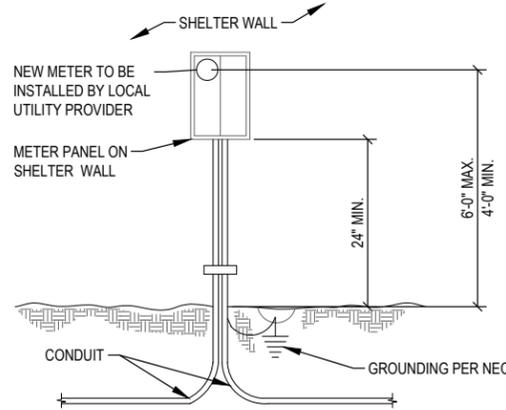


RENEWAL DATE 12/31/19

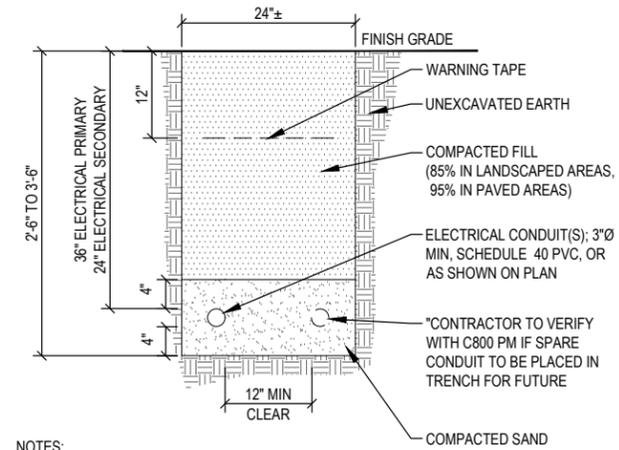
GENERATOR & PROPANE TANK DETAILS

SHEET NUMBER: **C-12**

NOTE:
CALL PGE SERVICE COORDINATION, 503-323-6700, TO COORDINATE INSTALLATION OF POWER



- NOTES:
1. ELECTRICAL LABEL OR PERMIT MUST BE DISPLAYED ON METER BASE.
 2. ALL GROUNDING DESIGN, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATION SITES".
 3. MOUNT METER PER LOCAL UTILITY REQUIREMENTS.
 4. LOCAL UTILITY WILL DETERMINE THE EXACT LOCATION OF METER BASE.



- NOTES:
1. EXCAVATE TO REQUIRED DEPTH.
 2. VERIFY ALL TRENCHING REQUIREMENTS PER LOCAL UTILITIES.
 3. CONTRACTOR TO PROVIDE (1) 300 POUND NYLON PULL CORD AND CONDUCTORS AS REQUIRED PER CONDUIT.

METER DETAIL

SCALE: NTS 2

POWER TRENCH

SCALE: NTS 3

NOT IN USE

SCALE: NTS 1

KEY NOTES

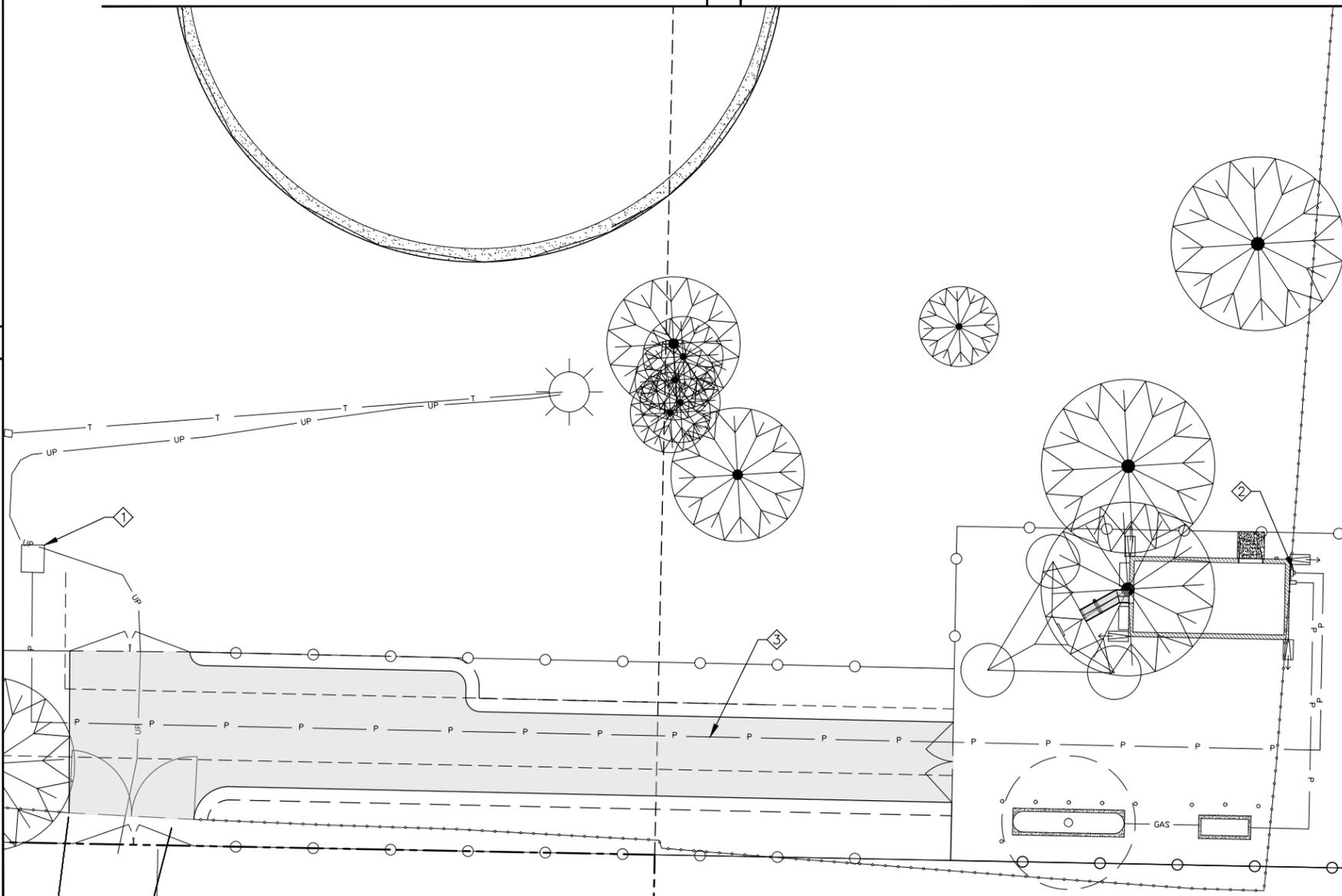
- 1 EXISTING VAULT WITH TRANSFORMER
- 2 NEW WALL MOUNTED METER BASE
- 3 UNDERGROUND POWER ROUTE TO STUB UP AT NEW FACILITIES, 250 LF ±

BURIED CONDUITS

— P — POWER

ATTENTION (OREGON SITES ONLY):

CALL 1-800-332-2344 48 HOURS BEFORE YOU DIG. OREGON LAW REQUIRES YOU TO FOLLOW OAR 952-001-0010 THRU 952-001-0090. COPIES ARE AVAILABLE AT THE OREGON UTILITY NOTIFICATION CENTER 503-232-1987



LEGEND

SCALE: NTS 4

ELECTRICAL SITE PLAN

SCALE: NTS 5

EXHIBIT 1



PROJECT INFORMATION:

**C-4
WILSONVILLE
TANK**
8323 SW ELLIGSEN ROAD
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LICENSURE:



RENEWAL DATE 12/31/19

SHEET TITLE:

**ELECTRICAL
SITE PLAN**

SHEET NUMBER:

E-1

- GENERAL NOTES:**
- ALL INSTALLATIONS ARE TO BE FIELD VERIFIED.
 - GROUND CONDUCTORS ARE TO BE BURIED AT A MINIMUM 30" BELOW GRADE OR 6" BELOW FREEZE LINE, WHICHEVER IS GREATER.
 - ALL BELOW GRADE GROUNDING CONDUCTORS ARE TO BE ENCOMPASSED IN A 2" X 4" BED OF TERRAFILL SOIL ENHANCEMENT MATERIAL.
 - BONDS TO FENCE POSTS ARE TO BE MADE AT 12" ABOVE GRADE WHERE APPLICABLE.
 - NO CONDUCTOR SHALL HAVE A BEND IN RADIUS OF LESS THAN 12" AND SHALL NOT EXCEED 90 DEGREES.
 - TERRADYNE ELECTROLYTIC GROUND ELECTRODES ARE NOT TO SHARE THE SAME TRENCH AS GROUNDING CONDUCTOR, NOR RUN IN A PARALLEL PATH TO THE CONDUCTOR.
 - ALL GROUND SYSTEMS ARE TO BE MADE COMMON.
 - ALL BONDS ARE TO BE COATED WITH ANTI-OXIDATION COMPOUND.
 - WHERE STANDARD GROUND ELECTRODES ARE UNABLE TO BE DRIVEN, 12" X 12" X 1/8" COPPER GROUND PLATES SHALL BE INSTALLED 30" BELOW FINISHED GRADE & ENCOMPASSED IN 50LBS OF TERRAFILL SOIL ENHANCEMENT MATERIAL.

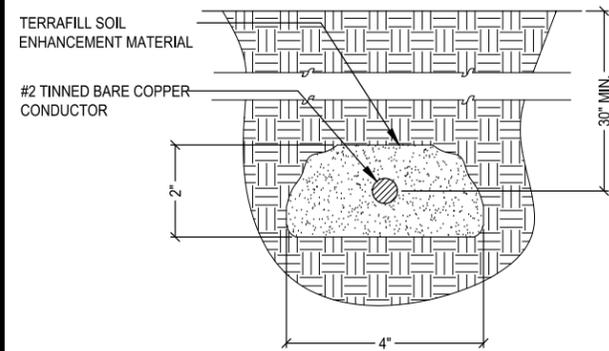
BASED ON PROVIDED SOIL RESISTIVITY TEST DATA DATED 11/4/2016: LEVELS AVG. 16,757 OHM-CM @ 5'

600' APPROX.	CONDUCTOR, TINNED (2-T)
0	# OF TERRADYNE GROUND ROD, HORIZONTAL (TD-10-H36-2T-36-6F-P)
14	# OF 5/8" X 10' COPPER CLAD GROUND ELECTRODE (5001)
51	BAGS OF TERRAFILL SOIL ENHANCEMENT (TF-50) WITH 4" X 2" BED

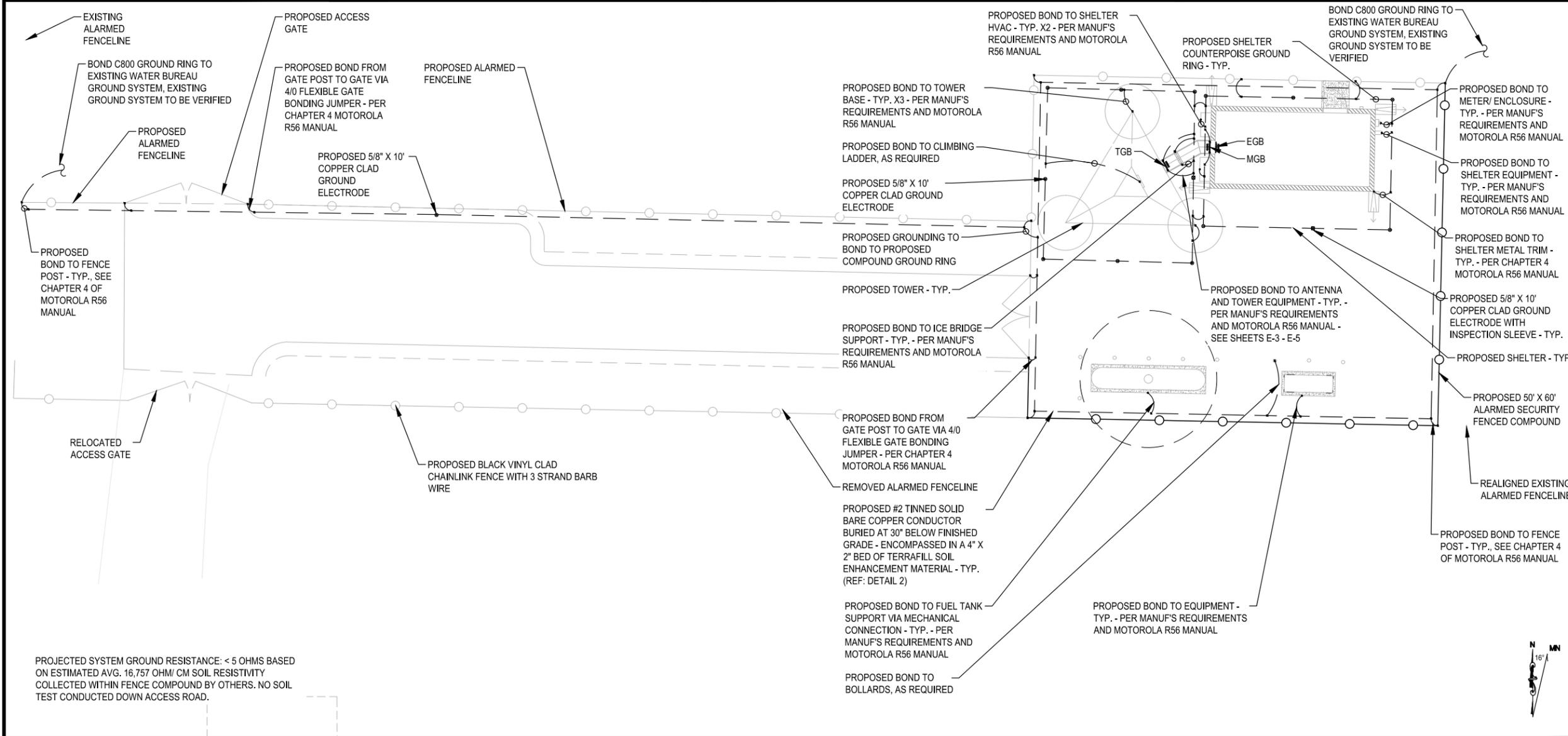
SOIL RESISTANCE = < 5 OHMS RESISTANCE TO EARTH VALUE

LEGEND:

	TERRADYNE TD-10-H36-2T-36-3F-P SERIES ELECTRODE W/ INSPECTION WELL
	EXOTHERMIC WELD
	MECHANICAL CONNECTION
	5/8" X 10' COPPER CLAD GROUND ELECTRODE
	5/8" X 10' COPPER CLAD GROUND ELECTRODE WITH INSPECTION SLEEVE
	#2 TINNED SOLID COPPER CONDUCTOR



NOT IN USE SCALE: NTS 3 SOIL ENHANCEMENT DETAIL SCALE: NTS 2



PROJECTED SYSTEM GROUND RESISTANCE: < 5 OHMS BASED ON ESTIMATED AVG. 16,757 OHM/ CM SOIL RESISTIVITY COLLECTED WITHIN FENCE COMPOUND BY OTHERS. NO SOIL TEST CONDUCTED DOWN ACCESS ROAD.

SITE COMPOUND GROUNDING PLAN

NTS 1

EXHIBIT 1



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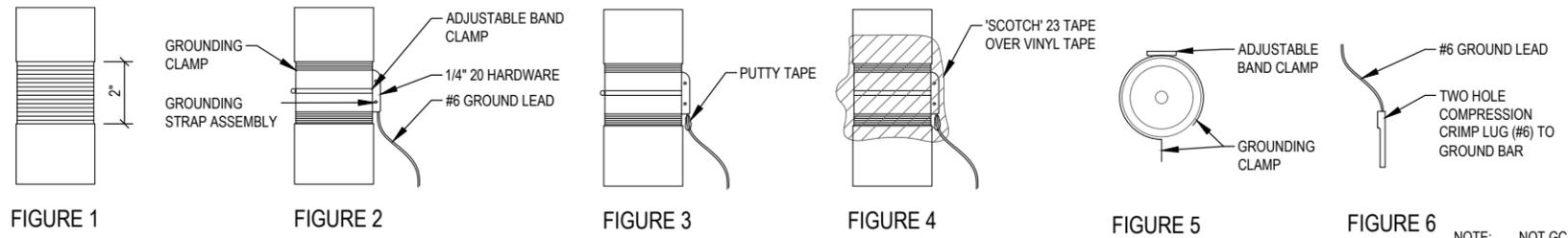
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www.cushing-engr.com

LICENSURE:

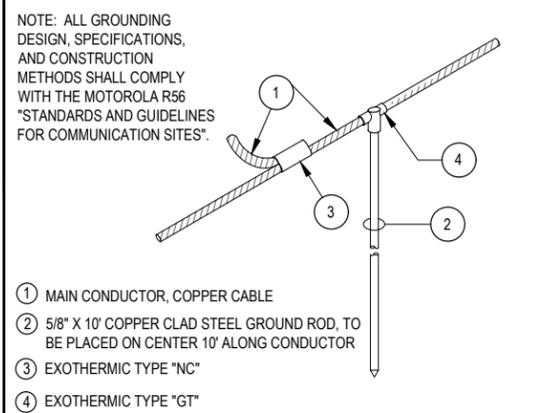
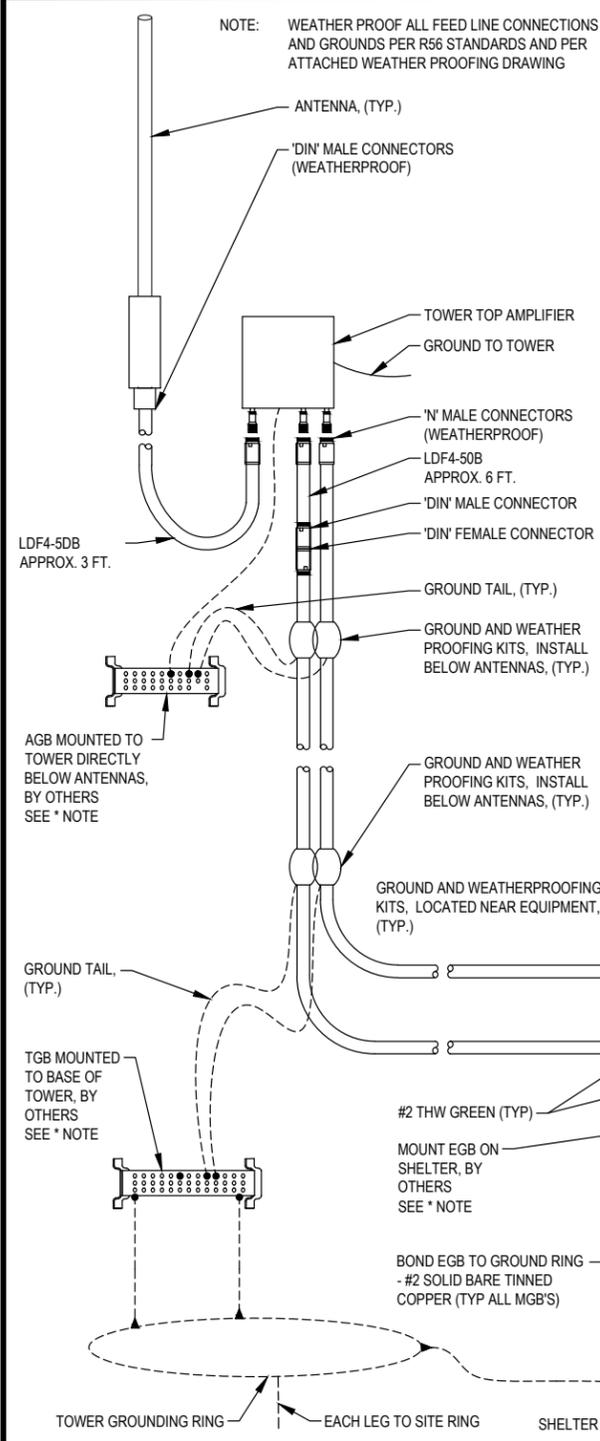
RENEWAL DATE 12/31/19

SHEET TITLE:
SITE GROUNDING PLAN & DETAILS

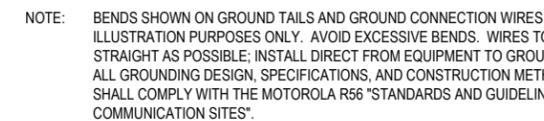
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E-2



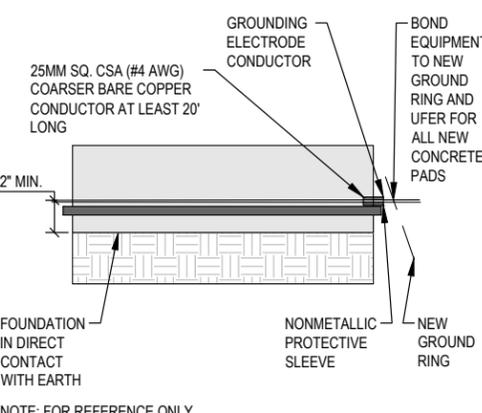
FEED LINE CABLE GROUNDING



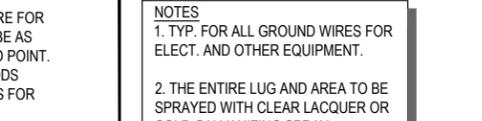
GROUND ROD DETAIL



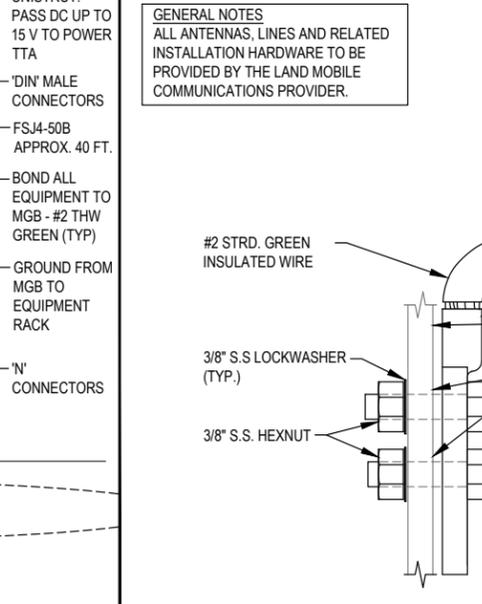
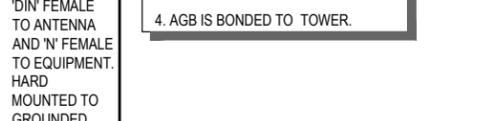
UFER DETAIL



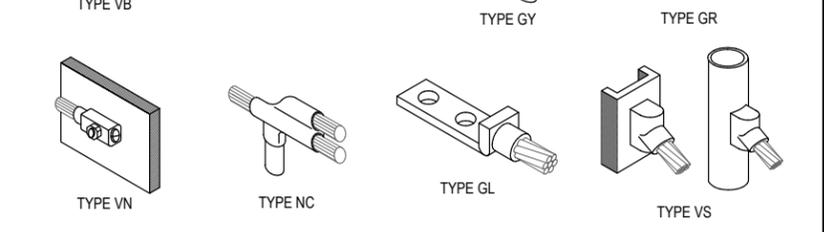
GROUND BAR DETAILS



GENERAL NOTES



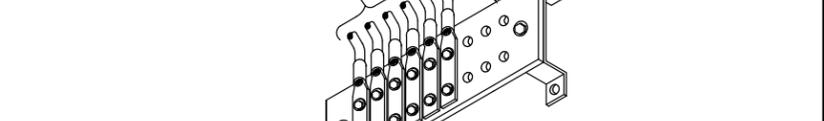
GROUND BAR DETAILS



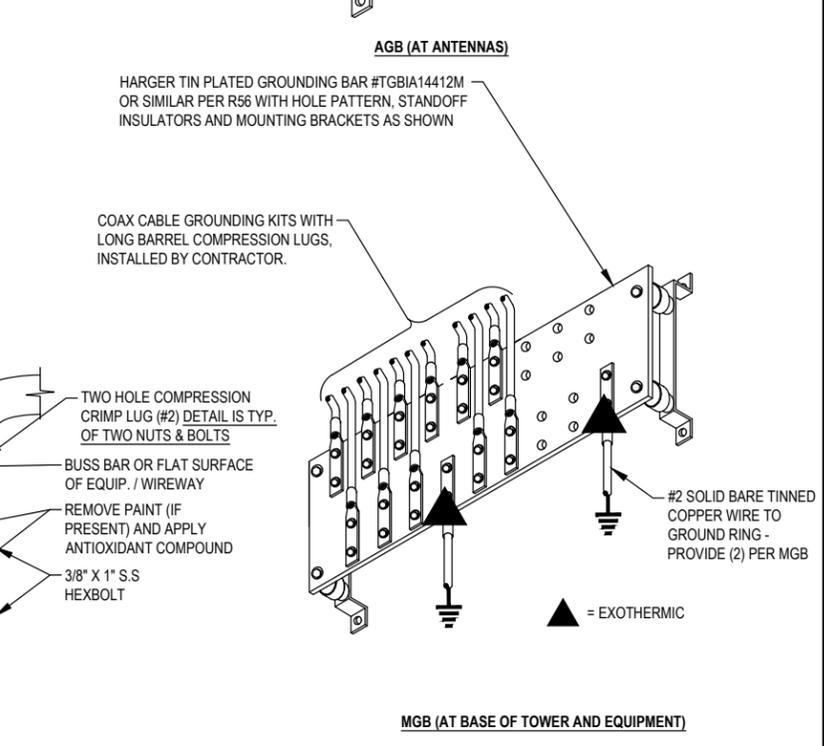
TYPICAL EXOTHERMIC CONNECTION DETAILS



AGB (AT ANTENNAS)



AGB (AT BASE OF TOWER AND EQUIPMENT)



MGB (AT BASE OF TOWER AND EQUIPMENT)

STANDARD RX GROUNDING SCHEMATICS

SCALE: NTS 1

GROUND ROD DETAIL

SCALE: NTS 4

GROUND BAR DETAILS

SCALE: NTS 5

TYPICAL EXOTHERMIC CONNECTION DETAILS

SCALE: NTS 3

EXHIBIT 1



PROJECT INFORMATION:

C-4 WILSONVILLE TANK
 8323 SW ELLIGSEN ROAD
 TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/29/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:

cushing
 Civil Engineers

Don Cushing Associates
 Civil Engineers

107 SE WASHINGTON STREET
 SUITE 265
 PORTLAND, OR 97214
 (503) 387-5331
www.cushing-engr.com



RENEWAL DATE 12/31/19

SHEET TITLE:

GROUNDING DETAILS I

SHEET NUMBER:

E-3

GENERAL NOTES
 ALL ANTENNAS, LINES AND RELATED
 INSTALLATION HARDWARE TO BE
 PROVIDED BY THE LAND MOBILE
 COMMUNICATIONS PROVIDER.

EXHIBIT 1



PROJECT INFORMATION:

**C-4
 WILSONVILLE
 TANK**
 8323 SW ELLIGSEN ROAD
 TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
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7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:

cushing
 Civil Engineers
Don Cushing Associates
 Civil Engineers
 107 SE WASHINGTON STREET
 SUITE 265
 PORTLAND, OR 97214
 (503) 387-5331
www.cushing-engr.com

LICENSURE:



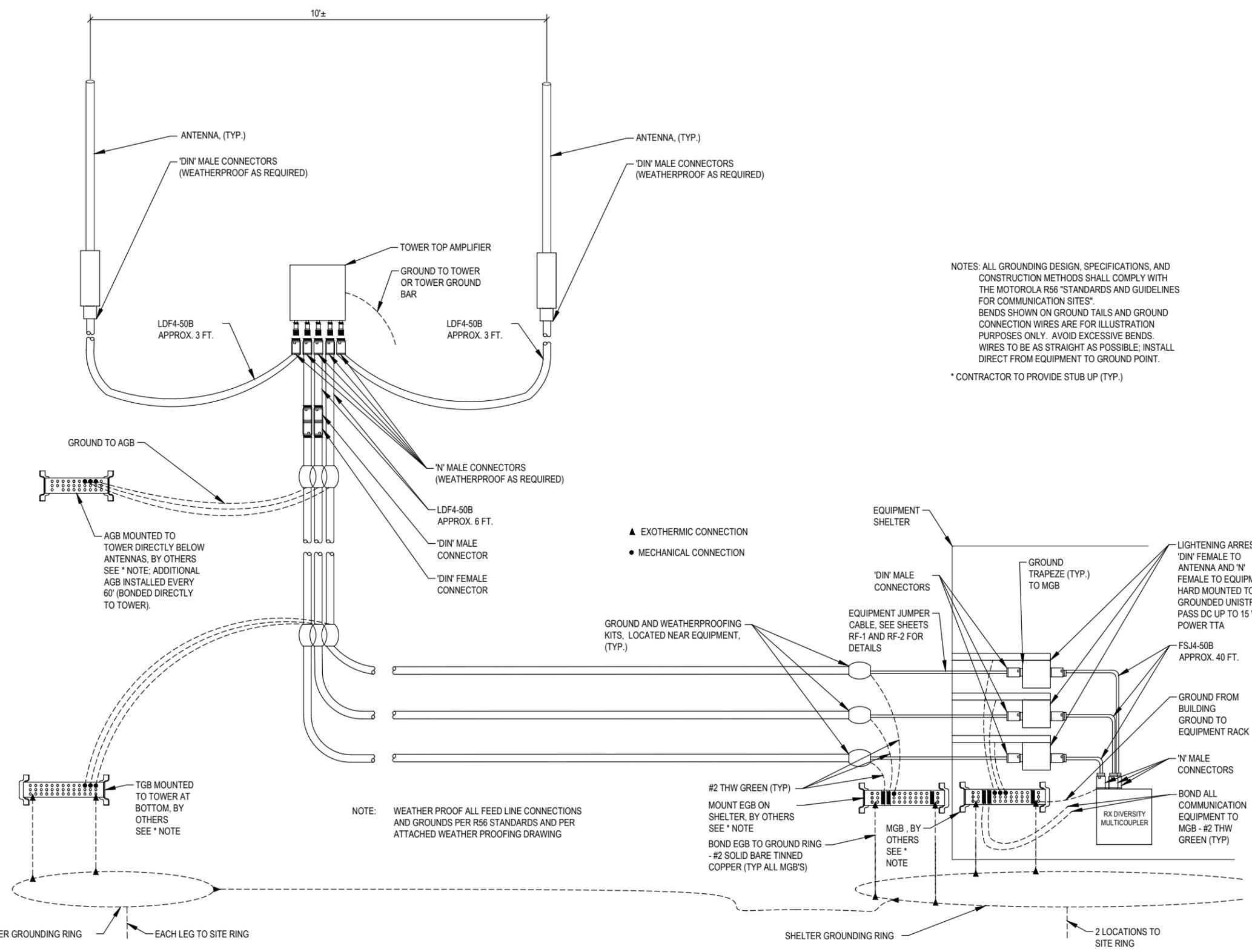
RENEWAL DATE 12/31/19

SHEET TITLE:

**GROUNDING
 DETAILS II**

SHEET NUMBER:

E-4



NOTES: ALL GROUNDING DESIGN, SPECIFICATIONS, AND
 CONSTRUCTION METHODS SHALL COMPLY WITH
 THE MOTOROLA R56 "STANDARDS AND GUIDELINES
 FOR COMMUNICATION SITES".
 BENDS SHOWN ON GROUND TAILS AND GROUND
 CONNECTION WIRES ARE FOR ILLUSTRATION
 PURPOSES ONLY. AVOID EXCESSIVE BENDS.
 WIRES TO BE AS STRAIGHT AS POSSIBLE; INSTALL
 DIRECT FROM EQUIPMENT TO GROUND POINT.
 * CONTRACTOR TO PROVIDE STUB UP (TYP.)

- ▲ EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION

NOTE: WEATHER PROOF ALL FEED LINE CONNECTIONS
 AND GROUNDS PER R56 STANDARDS AND PER
 ATTACHED WEATHER PROOFING DRAWING

TYPICAL DIVERSITY RX GROUNDING SCHEMATICS

SCALE: NTS 1

GENERAL NOTES
ALL ANTENNAS, LINES AND RELATED
INSTALLATION HARDWARE TO BE
PROVIDED BY THE LAND MOBILE
COMMUNICATIONS PROVIDER.

GENERAL NOTES
ALL ANTENNAS, LINES AND RELATED
INSTALLATION HARDWARE TO BE
PROVIDED BY THE LAND MOBILE
COMMUNICATIONS PROVIDER.

EXHIBIT 1



PROJECT INFORMATION:

C-4
WILSONVILLE
TANK
8323 SW ELLIGSEN ROAD
TUALATIN, OR 97062

DATE	RELEASE
7/21/17	PRELIM. CONSTRUCTION SUBMITTAL
8/18/17	FINAL CONSTRUCTION SUBMITTAL
9/21/17	UPDATED GEN. & PROP. TANK SHT
1/12/18	FINAL CONSTRUCTION SUBMITTAL
2/23/18	FINAL CONSTRUCTION SUBMITTAL
6/29/19	FINAL CONSTRUCTION SUBMITTAL
7/9/19	FINAL CONSTRUCTION SUBMITTAL
7/18/19	FINAL CONSTRUCTION SUBMITTAL
7/23/19	FINAL CONSTRUCTION SUBMITTAL

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PLANS PREPARED BY:



Don Cushing Associates
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LICENSURE:



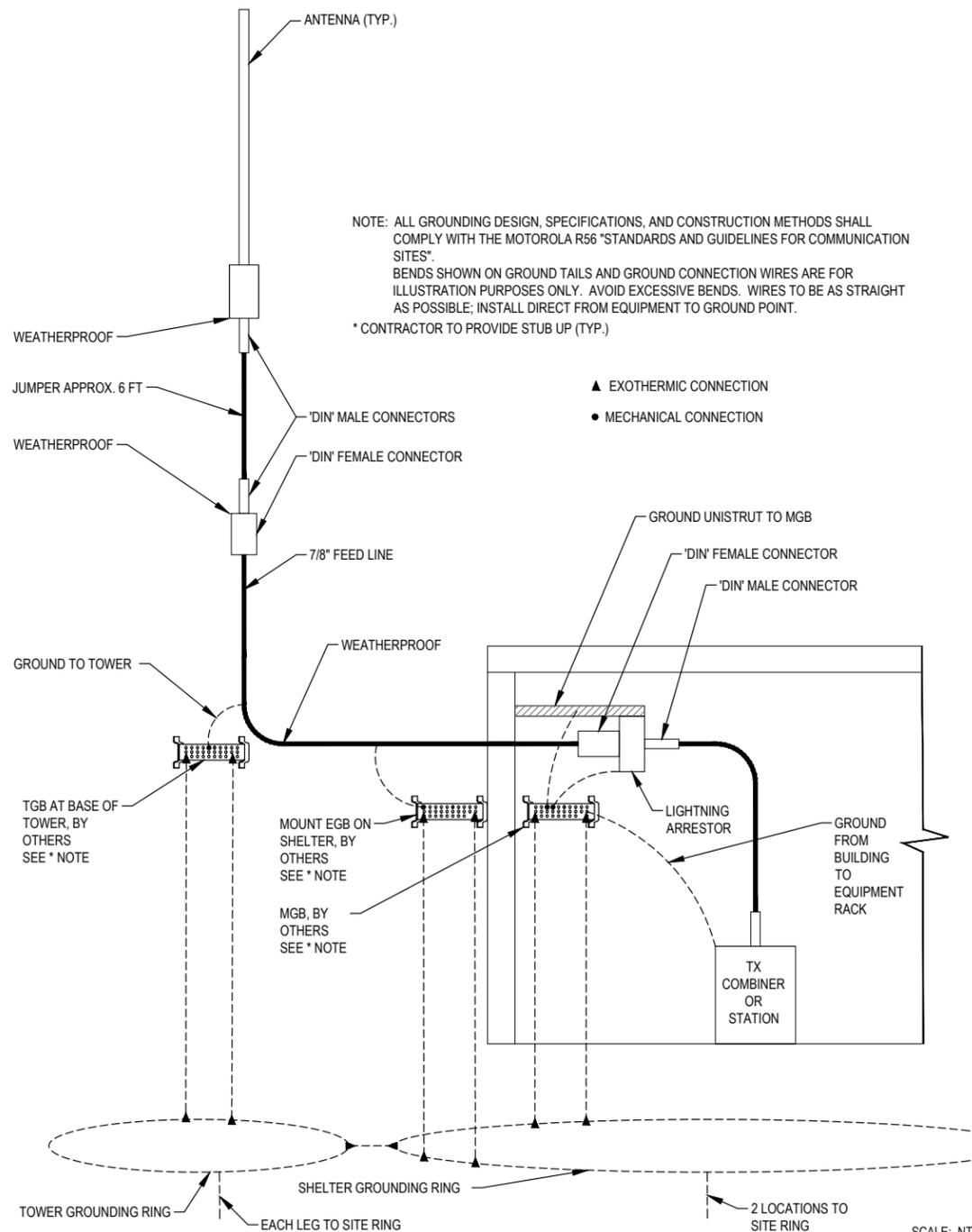
RENEWAL DATE 12/31/19

SHEET TITLE:

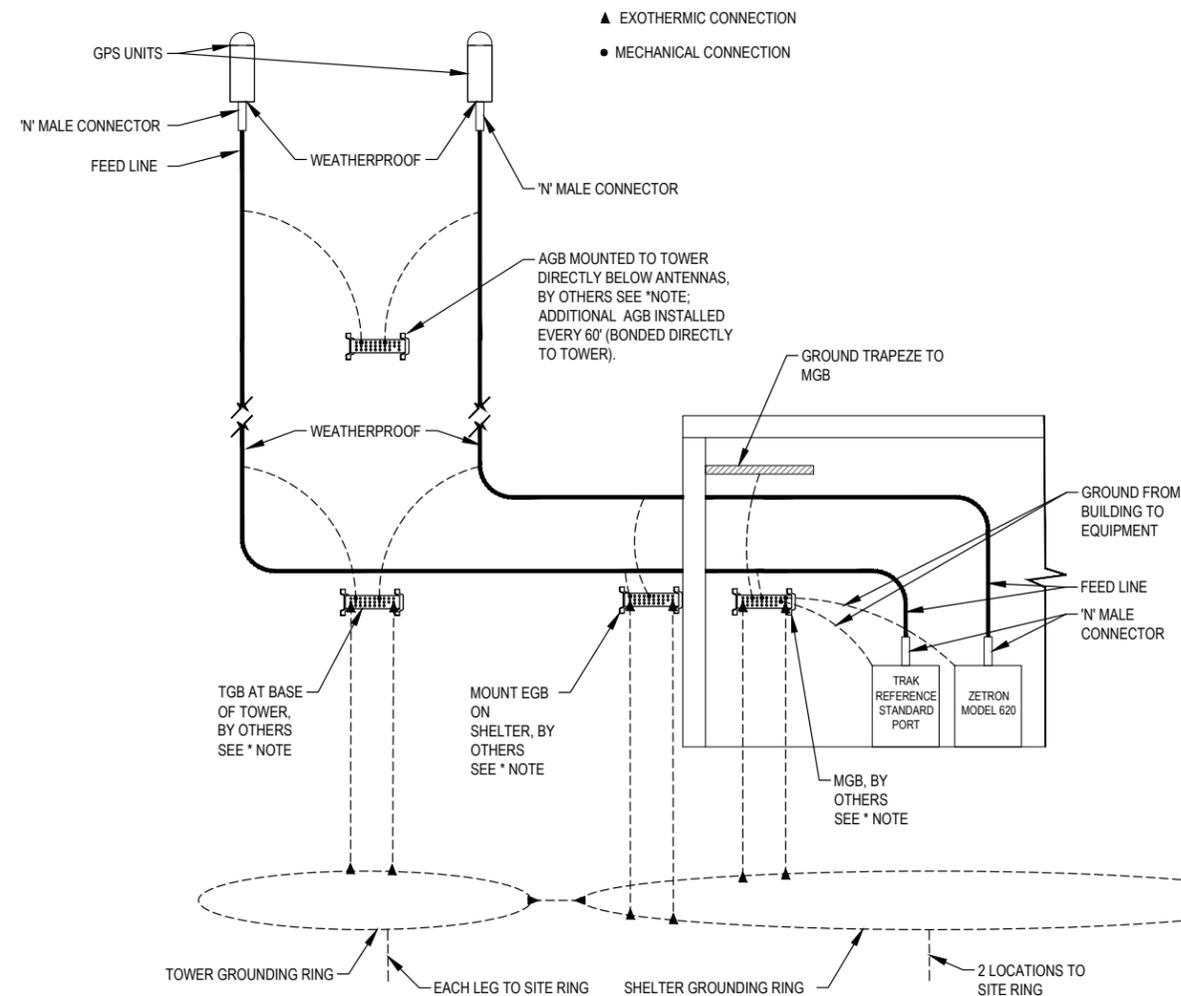
GROUNDING
DETAILS III

SHEET NUMBER:

E-5



NOTE: GPS ANTENNAS MUST HAVE A CLEAR VIEW OF THE SOUTHERN SKY AND ABOVE ANY TREE CANOPY OR ADJACENT STRUCTURES THAT MAY BLOCK THAT VIEW. ALL GROUNDING DESIGN, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL COMPLY WITH THE MOTOROLA R56 "STANDARDS AND GUIDELINES FOR COMMUNICATION SITES". BENDS SHOWN ON GROUND TAILS AND GROUND CONNECTION WIRES ARE FOR ILLUSTRATION PURPOSES ONLY. AVOID EXCESSIVE BENDS. WIRES TO BE AS STRAIGHT AS POSSIBLE; INSTALL DIRECT FROM EQUIPMENT TO GROUND POINT.
* CONTRACTOR TO PROVIDE STUB UP (TYP.)



TYPICAL 700/800/UHF/VHF TX ANTENNA WITHOUT TTA, AND TEST ANTENNAS GROUNDING SCHEMATICS

TYPICAL GPS ANTENNA GROUNDING SCHEMATICS

SCALE: NTS

1

2



CITY COUNCIL MEETING STAFF REPORT

Meeting Date: August 5, 2019	Subject: Ordinance No. 837 – 2nd Reading An Ordinance of the City of Wilsonville Amending Wilsonville Code Sections 8.010 and 4.179 Staff Member: Amanda Guile-Hinman, Assistant City Attorney and Mark Ottenad, Public Affairs Director Department: Legal/Administration	
Action Required	Advisory Board/Commission Recommendation	
<input checked="" type="checkbox"/> Motion <input checked="" type="checkbox"/> Public Hearing Date: July 15, 2019 <input checked="" type="checkbox"/> Ordinance 1 st Reading Date: July 15, 2019 <input checked="" type="checkbox"/> Ordinance 2 nd Reading Date: August 5, 2019 <input type="checkbox"/> Resolution <input type="checkbox"/> Information or Direction <input type="checkbox"/> Information Only <input type="checkbox"/> Council Direction <input type="checkbox"/> Consent Agenda	<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> None Forwarded <input checked="" type="checkbox"/> Not Applicable Comments: Implementation item for Metro’s mandatory commercial food scrap program.	
Staff Recommendation: Staff recommends that Council adopt Ordinance No. 837 on second reading.		
Recommended Language for Motion: I move to approve Ordinance No. 837 on second reading.		
Project / Issue Relates To:		
<input type="checkbox"/> Council Goals/Priorities	<input type="checkbox"/> Adopted Master Plan(s)	<input checked="" type="checkbox"/> Not Applicable

ISSUE BEFORE COUNCIL:

Consideration of amendments to the Wilsonville Code (“WC”) to comply with the Metro mandatory commercial food scrap program regarding Metro’s requirement that the City require “persons or entities that lease or provide space to a Covered Business to allow or facilitate the provision of food waste collection service for those Covered Businesses.”

EXECUTIVE SUMMARY:

On July 26, 2018, the Metro Council adopted Ordinance No. 18-1418 to establish a business food waste requirement, also known as the commercial food scrap program. City staff, along with representatives from Metro and Clackamas County, presented the commercial food scrap program to Council at the May 20, 2019 work session. The staff report for the May 20, 2019 work session regarding the commercial food scrap program is incorporated by reference herein.

1. The Metro Ordinance

In addition to other requirements, Metro Ordinance No. 18-1418 states that local governments must require:

“persons ... who provide space to a covered business to allow the source separation and collection of food waste.”

2. Metro Administrative Rules

Metro also published administrative rules that regarding space for covered businesses to allow collection of food waste:

“A local government must require persons or entities that lease or provide space to a Covered Business to allow or facilitate the provision of food waste collection service for those Covered Businesses.” AR5.10-4040(3)

3. Implementation

City staff engaged with Clackamas County staff, who are helping the local jurisdictions to implement the commercial food scrap program. At the May 20, 2019 work session, staff explained the Metro Ordinance requires local governments to include regulations where local jurisdictions must require commercial landlords to allow or facilitate the provision of food waste collection service for covered businesses. To meet this Metro requirement, minor updates to WC 8.010 and 4.179 are necessary.

EXPECTED RESULTS:

Implementation of Metro’s mandatory commercial food scrap program.

TIMELINE:

This Ordinance is scheduled for a first reading and public hearing on July 15, 2019 and a second reading on August 5, 2019 in order to meet Metro’s implementation deadline. The Ordinance, if adopted, will go into effect 30 days after August 5, 2019.

CURRENT YEAR BUDGET IMPACTS:

N/A

FINANCIAL REVIEW / COMMENT:

Reviewed by: CAR Date: 7/8/2019

LEGAL REVIEW / COMMENT:

Reviewed by: ARGH Date: 7/1/2019

COMMUNITY INVOLVEMENT PROCESS:

Metro and Clackamas County are the local agencies responsible for implementing “recycle at work programs” for metro-area cities in the county. Both Metro and Clackamas County have undertaken extensive engagement with metro-area businesses, including in Wilsonville, of all sizes and in various industries that share the common issue of food-scrap waste production. Some Wilsonville businesses have worked with Clackamas County Sustainability Division to voluntarily participate early in a commercial food-scrap collection program offered by Republic Services. Additional details on public outreach to businesses is included in **Attachment B**.

In addition, notice of the public hearing on this matter was sent to over 800 property owners, published in the Clackamas Review on July 3, 2019, published in the Wilsonville Spokesman on July 10, 2019, posted in City buildings, and posted on the City’s website.

POTENTIAL IMPACTS or BENEFIT TO THE COMMUNITY:

According to the Metro Ordinance, the commercial food scrap program provides “an opportunity to increase recycling of food waste and to assist the Metro region to achieve waste reduction goals.” Moreover, Metro’s Administrative Rules explain, “Food is identified as a primary material for recovery within the Regional Solid Waste Management Plan because of its prevalence in the region’s waste stream and the negative environmental impacts of disposing food in a landfill.”

ALTERNATIVES:

None. The City is required to adopt regulations to require commercial food scrap collection and disposal per the Metro ordinance and administrative rules.

CITY MANAGER COMMENT:

N/A

ATTACHMENTS:

- A. Ordinance No. 837
- B. Public Outreach Documentation

ORDINANCE NO. 837**AN ORDINANCE OF THE CITY OF WILSONVILLE AMENDING WILSONVILLE CODE SECTIONS 8.010 AND 4.179.**

WHEREAS, on July 26, 2018, the Metro regional government adopted Ordinance No. 18-1418 to create a business food waste requirement, also known as the mandatory commercial food scrap program; and

WHEREAS, the City of Wilsonville (“City”) is subject to the Metro mandatory commercial food scrap program, and thus, businesses within the City that meet Metro’s definition of a “Covered Business” must participate in the mandatory food scrap program; and

WHEREAS, one of the requirements of local governments subject to the Metro mandatory food waste program is to require persons who provide space to a Covered Business to allow the source separation and collection of food waste; and

WHEREAS, the City of Wilsonville desires to amend Wilsonville Code (“WC”) Chapter 8, Section 8.010 and Chapter 4, Section 4.179, to meet this requirement of the Metro mandatory food waste program; and

WHEREAS, WC Chapter 4 is considered a supporting document of the City’s Comprehensive Plan; and

WHEREAS, the City Council may conduct a public hearing to consider an amendment to the Comprehensive Plan when the Council finds that the amendment is necessary to comply with rules, regulations, goals, guidelines, or other legal actions of any governmental agency having jurisdiction over matters contained therein; and

WHEREAS, the City Council, after public hearing notices were provided to over 800 property owners and to the Department of Land Conservation and Development, published twice in the Wilsonville Spokesman, and posted in four locations throughout the City and on the City website, held a public hearing on July 15, 2019 to review the proposed amendment to WC 8.010 and 4.179 and to gather additional testimony and evidence; and

WHEREAS, the City Council has afforded all interested parties an opportunity to be heard on this subject and has entered all available evidence and testimony into the public record of its proceeding; and

WHEREAS, the City Council has duly considered the subject, including all the exhibits and testimony introduced and offered by all interested parties.

NOW, THEREFORE, THE CITY OF WILSONVILLE ORDAINS AS FOLLOWS:

1. FINDINGS.

The above-recited findings are adopted and incorporated by reference herein, including the staff report submitted with this Ordinance. The City Council further finds and concludes that the adoption of the proposed Wilsonville Code text is necessary to help protect the public health, safety, and welfare of the municipality by implementing the Metro requirements for the mandatory commercial food scrap program.

2. DETERMINATION.

Wilsonville Code 8.010 is amended as follows:

“The regulation of disposal and hauling, including both hauler and customer requirements, for solid waste, recycling, yard debris, organic materials, and other materials shall be adopted by City ordinance. *A person or entity that leases or provides space to a Covered Business (as defined in Metro Administrative Rule 5.10-4010) must allow or facilitate the provision of food waste collection service for that Covered Business.*”

Wilsonville Code 4.179 is amended as follows:

“*(.09) When applicable, the applicant must comply with Wilsonville Code Section 8.010.*”

3. The City Recorder is directed to amend Wilsonville Code Sections 8.010 and 4.179, as approved above, and to make such format, style, and conforming changes to match the format and style of the respective chapters of the Wilsonville Code.

4. Except as set forth above, Chapter 8 and Chapter 4 of the Wilsonville Code remain in full force and effect, as written.

5. This Ordinance shall be declared to be in full force and effect thirty (30) days from the date of final passage and approval.

SUBMITTED to the Wilsonville City Council and read for the first time at a regular meeting thereof on the 15th day of July, 2019, and scheduled for a second reading at a regular

meeting of the Council on August 5, 2019 commencing at the hour of 7 p.m. at the Wilsonville City Hall, 29799 SW Town Center Loop East, Wilsonville, Oregon.

Kimberly Veliz, City Recorder

ENACTED by the City Council on the ____ day of _____, 2019, by the following votes: Yes: _____ No: _____

Kimberly Veliz, City Recorder

DATED and signed by the Mayor the ____ day of _____, 2019.

TIM KNAPP, MAYOR

SUMMARY OF VOTES:

- Mayor Knapp
- Council President Akervall
- Councilor Lehan
- Councilor West

Metro and Clackamas County Information on Outreach to, Feedback from and Impacts on Food-Scraps Generating Businesses for Implementing Business Food-Waste Requirement Policy

- Metro Food Scraps Project Q&A: Businesses, March 2017
- Metro Outreach to Food-Scrap Generating Businesses in the City of Wilsonville for Implementing Commercial Food-Scraps Collection during 2017
 - Metro Notification Letter and Request for Input to Potentially-Affected Businesses on Business Food-Waste Requirement Policy, Sept. 2017
 - Metro Follow-up Notification Postcard and Request for Input to Potentially-Affected Businesses on Business Food-Waste Requirement Policy, Sept. 2017
- Metro Final Public Comment Report: Business Food Waste Requirement, Oct. 2018
- Metro Commercial Food Scraps Policy Overview, Jan. 2019
- Clackamas County Sustainability Division Review of Food-Scraps Generating Businesses in Each City of County
- Clackamas County Sustainability Division Food Donation Postcard, 2018-19



Metro Outreach to Food-Scraps Generating Businesses in the City of Wilsonville for Implementing Commercial Food-Scraps Collection

Meetings of businesses having Wilsonville locations with Metro staff in 2017

1. Clackamas County Business Alliance (CCBA)
2. Costco Wholesale
3. Albertsons/Safeway
4. McMenamin's
5. Shari's
6. Red Robin
7. Oregon Restaurant and Lodging Association (ORLA):
Held several meetings beginning in January 2016; ORLA assisted with developing and disseminating a survey on the policy to 360 members and are currently are partners with Metro and DEQ to implement the *Food Waste Stops With Me* initiative.

Potentially-affected Wilsonville businesses (55) receiving Metro Business Food Waste Requirement Notification Letter and Request for Input in September 2017

A B Mauri Food	Oglennon LLC (Jimmy John's)
Abella Italian Kitchen	Oswego Grill Wilsonville LLC
Avamere Ditta LLC	Papa Murphy's Take N Bake Pizza
Bellagios Pizza	Pizza Schmizza
Best Western Wilsonville Inn & Suites	Qdoba Mexical Grill
Biscuits At Old Town LLC	Quality Inn Wilsonville
Black Bear Diner	Ram Restaurant & Brewhouse
Boeckman Creek Primary School	Red Robin Burger & Spirits Emporium
Boones Ferry Primary School	Safeway
Boston's	Sharis Restaurant
Brookdale Retirement Wilsonville	Springridge Court
Burger King	Starbucks Coffee
Café Yumm	Sushi Avenue LLC
Chipotle Mexican Grill	Taco Bell
Coffee Creek Correctional Facility	Target
Costco Wholesale Corporation	Thai Village Restaurant
Dar Es Salam	The Springs At Wilsonville
Dominos Pizza	Victory Academy
Elton Enterprises IV Inc (Subway)	Wankers Corner Saloon & Cafe
Fred Meyer - Wilsonville	Wendy's
Gandaki Inc (Baskin-Robbins)	Wilsonville High School
Greentree VI Inc (Mcdonalds)	McMenamins Wilsonville Old Church & Pub
Holiday Inn Wilsonville	Wong's Chinese Restaurant
Inza R Wood Middle School	Wow! Burger Of Oregon LLC
Jamba Juice	Zoup!
Lowrie Primary Schools	
Marquis Companies Inc	
Noodles & Company	

ATTACHMENT B



Metro Notification Letter and Request for Input to Potentially- Affected Businesses on Business Food-Waste Requirement Policy

600 NE Grand Ave.
Portland, OR 97232-2736
oregonmetro.gov

September 15, 2017

NOTICE OF PUBLIC COMMENT OPPORTUNITY: Business Food Scraps Separation Requirement

I am writing to let you know about a policy which may affect your business and to invite your comments and feedback. This fall, the Metro Council is considering a policy that, if adopted, will **require food service businesses to separate food scraps from garbage for collection**. The policy, if adopted, will be **phased in over 5 years beginning 2019**.

You can view the proposed policy documents on Metro's website by visiting www.oregonmetro.gov/foodscrapspolicy. If you'd like to receive the documents by mail, please call 503-234-3000 or email foodscraps@oregonmetro.gov and we will send a copy to you.

Why this proposal?

Food scraps are the largest single component of the waste our region sends to landfills. Almost 20 percent of what we throw away is food, enough to fill 5,000 long-haul trucks each year. Food scraps are the largest contributors to the creation of methane in a landfill, a potent greenhouse gas. In addition, that food can be put to better use creating energy, fertilizer, and compost to support local agriculture and nurseries. Much of the volume of our region's discarded food comes from restaurants, grocery stores, cafeterias, and other food service businesses.

About the policy

The policy proposal, if adopted by the Metro Council this fall, will require city and county governments to establish programs that **require food service businesses to separate back-of-house food scraps from other garbage and recycling** for collection. This may affect how your business handles food scraps in the future.

The policy would direct local governments to adopt a phased-in approach that would be implemented from 2019 through 2022. After 2023 Metro may consider not allowing the landfill disposal of large amounts of food. You are receiving this notice because your business may be one of the approximately 3,000 food service businesses in the greater Portland area that may be included in this proposed policy.

If the policy is adopted, you will be contacted by local government staff to let you know when you will need to participate and to assist you with set-up, staff training and other technical assistance. They can also help you with finding ways to prevent food waste as well as setting up food donation programs where appropriate. Although most businesses have the option to do so now, **the earliest any business will be required to begin separating food scraps is March 2019**.

September 15, 2017
Page 2

Why now?

Although there have been voluntary programs for businesses in place in some areas of our region for more than a decade, the greater Portland area only recovers 13 percent of its food waste, a figure that has not changed for six years. To address this, the Metro Council in October 2016 directed staff to develop policy options to reduce the volume of food our region sends to landfills and increase what we recover for better uses.

Metro and local governments have been meeting with representatives of many businesses that may be affected by this policy. We have also been communicating with business associations such as the Oregon Restaurant and Lodging Association, the Northwest Grocery Association, the Northwest Food Processors Association and the Building Owners and Managers Association and area Chambers of Commerce.

A 30-day written public comment period will be open from September 15, 2017 to October 20, 2017.

You can submit written comments by going to the Metro website:

www.oregonmetro.gov/foodscrapspolicy

Following the formal written comment period, an updated policy proposal will be posted on Metro's website and will come before the Metro Council for a public hearing on Thursday, November 30, 2017, beginning at 2 p.m. That public hearing will be held in the Council chamber at Metro Regional Center, 600 NE Grand Avenue, Portland. You are welcome to testify in person and or in writing at this meeting.

If you have questions, please feel free to contact my staff at foodscraps@oregonmetro.gov or 503-234-3000.

Sincerely,



Paul Slyman
Director, Property & Environmental Services

If you have a business in the City of Portland

Since 2008, Portland has required businesses that process, prepare, cook or sell food to separate their food scraps from garbage before collection. Many Portland businesses are already meeting this requirement. The City of Portland will expand its educational efforts to help even more business properly prepare their food scraps for collection. If you operate a business in Portland that isn't already separating food scraps for collection, you can expect City staff to reach out to you with assistance, beginning with the largest food industry businesses, and continuing over the next 2-3 years. This outreach will follow proposed region-wide compliance timelines and phasing, so if you manage a food-oriented business in Portland and another nearby jurisdiction in the Portland area, the same food scraps collection requirements will apply in both places.

Si necesita asistencia con el idioma, llame al 503-234-3000 (de 8:30 a 5, lunes a viernes).



Metro



Share your views

The Metro Council wants your comments on ways to keep more food out of landfills.

Metro Follow-up Notification Postcard and Request for Input to Potentially-Affected Businesses on Business Food-Waste Requirement Policy

The Metro Council wants your comments on a proposed policy to separate more food scraps from garbage at food service businesses.

Food is the largest component of the garbage that the greater Portland area sends to landfills. In a landfill food decomposes and creates methane, a more potent greenhouse gas than carbon dioxide. Food scraps can be put to better use creating energy, compost and other products that can benefit our environment and our economy.

More than half of the food that the Portland area sends to landfills each year comes from businesses, and much of that comes from restaurants, grocery stores, and others for which food is a central part of their business activity. Bones, coffee grounds, fruit peels, egg shells and other non-edible food items can be kept out of landfills and put to better use.

Later this fall, the Metro Council will consider a food scraps separation policy for certain types of businesses. **Metro welcomes your comments on this proposed policy between Sept. 15 and Oct. 20.**

To learn more and share your views, visit oregonmetro.gov/foodscraps

18033 Printed on recycled-content paper.



Final Public Comment Report: Business Food Waste Requirement



October 1, 2018

BACKGROUND

First Comment Period

Between September 15 and October 20, 2017, Metro conducted the first public comment period for the proposed business food waste requirement ordinance and associated administrative rules. Notification letters were sent to more than 2,000 potentially-affected businesses to inform them of the policy and to invite comments. Metro also produced 1,000 public comment postcards for local government partners to hand out to businesses. A Metro News story, published on September 15, also announced the public comment period and provided information on how to submit public comment. This Metro News story was also promoted on Metro's Facebook page (www.facebook.com/oregonmetro) and Twitter feed (@oregonmetro).

In addition, the Metro web page dedicated to the food scraps project (www.oregonmetro.gov/foodscraps) provided businesses with information on what types of materials would be included in the program, the types of businesses that would be required to participate, an estimate of the dates businesses would need to be in compliance with any new policy, and a guide designed to help businesses estimate the quantity of food scraps their business likely generates.

Comments were required to be submitted in writing for inclusion in this report. Comments were received primarily through an email address established for the comment period. Comments were also received via U.S. mail, through letters emailed to the Metro Council offices, and through a related Metro News posting on Metro's Facebook page.

Second Comment Period

From April 16 through May 15, 2018, Metro conducted a second public comment period to solicit comments on the changes made to the administrative rules noted below.

The region may still have a limited number of facilities that accept commercial food scraps at the time the program is implemented, which might result in increased travel times for haulers delivering collected food scraps. Those times would translate into higher costs that would be passed on to customers. To address this, the administrative rules originally contained a distance waiver, through which Metro would waive the required food scraps collection requirement until a jurisdiction had a food scraps transfer station or processor in relatively close proximity. Following input from the Metro Council at the Council work session in November 2017, **Metro staff developed an alternative approach intended to achieve the same objective as the distance waiver**, but to do so in a way that more strongly advances the intent of the regional food scraps policy and allows all businesses to participate. In addition, the **policy implementation dates were adjusted** forward one year to allow for ample time for collection system development.

The Metro Council held a public hearing on Ordinance 18-1418 on July 12, 2018 and adopted the ordinance on July 26, 2018. The administrative rules were on a separate yet parallel path and a third 30-day review and comment period was held for the rules only as described below.

Third Comment Period (Administrative Rules only)

From August 31 through September 28, 2018, Metro conducted a third public comment period. Due to Council adoption of Ordinance 18-1418, only the administrative rules were included in this final comment round.

Following input from local governments, the solid waste hauling community, businesses, citizens and Metro's Solid Waste Alternatives Advisory Committee, additional changes were made to the administrative rules. The **access to services payments section was amended to directly compensate solid waste haulers** to offset the potential additional cost of delivering food scraps to Metro Central Transfer Station. Previous versions of the rules had these funds paid to local governments. A **provision was added to the access to services payments** to enable companies that haul their own food waste (such as food processors) to qualify for these payments. More specific wording was added to indicate that **schools may include food waste collected from student lunches** and not just from the food preparation phase. Other minor changes were made to wording in order to increase clarity and to update formatting to meet the new Metro standard.

All of the comments received, as well as the comment log with staff response are included with this report as Attachment A.

COMMENT SUMMARY

First Comment Period

At the close of the first comment period, 40 sets of written comments were received:

- 20 were clearly supportive of the mandatory policy
- 1 was opposed
- 11 requested specific edits to the policy or had general concerns and suggestions for changes
- 6 had general questions or were requests for additional information on various topics
- 2 comments were not applicable or neutral
- A fifth-grade class from Sauvie Island Academy also submitted letters; 18 students were in support and 4 were opposed.

The majority of those **in favor** of the policy indicated:

- A mandatory program was overdue and it was a surprise that it was not yet required in such an environmentally progressive region.
- The education and outreach structure and associated funding to support local government technical assistance is important for businesses to be successful.
- It is important to make sure that proper infrastructure is in place for businesses and that there is adequate funding to support implementation success.
- It is the responsible and sustainable thing to do, all businesses should be required to participate and the data support the need for the policy.

The one comment **opposed** to the policy believed that these businesses were already participating in a program and if the service was free, more would participate.

The **concerns** expressed by eleven of the comments included the following:

- Increased costs to businesses already strained by new fees and taxes
- Potential nuisance or health/sanitation issues
- Questions regarding Metro’s legal authority to impose the policy on local governments
- Risk of failure or unintended consequences
- Equity—better understand the burdens on different business communities, especially those with little influence over the policy
- Concerns about timeframe for implementation being too aggressive—should be more flexible
- Critical cost details are still unknown
- Necessary infrastructure for commercial food waste transfer still lacking in the region

Second Comment Period

At the close of the second comment period, 8 sets of written comments were received:

- 3 were in support of the policy
- 3 supported intent of the policy but had specific concerns about how the access to services funds would be disbursed
- 1 requested that Metro consider a pilot program in one area of the region prior to region-wide implementation
- 1 requested the requirement be expanded to cover multifamily households

Third Comment Period

At the close of the third comment period, 3 sets of written comments were received:

- All comments supported the intent of the rules
- All comments requested that Metro expedite the development of transfer capacity to better serve the region and that the access to service payments serve only to temporarily bridge the service gaps
- None of the comments suggested specific changes to the rules as written

AMENDMENTS MADE TO DRAFT POLICY

All comments received during the first comment period were reviewed by the intergovernmental policy team. Those comments that requested **specific changes** to the Administrative Rules were discussed by the team which then determined which comments necessitated changes or clarifications to the draft ordinance and administrative rules documents and what those specific changes should be. The majority of the changes made were to improve clarity and correct inconsistencies in the documents. The revised draft of the ordinance and administrative rules, dated November 8, 2017, which illustrates proposed changes based on the comments during this first period is included as Attachment B.

Comments received during the second comment period were reviewed by Metro staff. The primary changes were to the Access to Services Payments section of the administrative rules—shifting payments to solid waste haulers rather than to local governments and including specific businesses in the payments. The revised draft of the administrative rules, dated August 22, 2018, which illustrates changes based on the comments during this second period is included as Attachment C.

Comments received during the third comment period were reviewed by Metro staff. No substantive changes were made to the draft documents based on the comments received. The final version of the rules is included as Attachment D.

CONCLUSION

The first round of public comments indicated overall general support for the policy.

- Questions remain regarding the details of the temporary waivers for local government implementation. Staff will need to determine the appropriate criteria and base data, evaluate potential impacts on tons recovered and collection economics, test approaches and revise the rules over time.
- Questions remain regarding the financial impacts of the policy both on local governments and on affected businesses. Metro needs to complete further analysis on the cost impacts including the tip fee that will be charged prior to the effective date of the policy if the ordinance is adopted by the Metro Council. (The policy would take effect on October 26, 2018, if the Metro Council adopts the ordinance on July 26, 2018.)
- Metro should develop and issue guidance documents to bring clarity to specific elements of the Administrative Rules; specifically local government reporting requirements.

The second round of comments echoed the overall support and raised the following:

- Some local governments and the hauling community requested that the access to transfer services payment disbursement method be reconsidered. The preference of the commenters was that the payments be directed to the haulers rather than local governments.
- Questions remained regarding the parameters of how the funds could be used should they be allocated to local governments rather than haulers.

The third round of comments supported the intent of the policy, appreciated the changes made to the access to service payments and reiterated the need for a more transfer options to serve the region.

On September 26, 2018 a public hearing on the draft administrative rules was held in accordance with Metro Code Chapter 5.01.280. The final draft of the administrative rules (AR 5.10-4000 through 4090) will be presented to Metro's Chief Operating Officer for adoption. If adopted, the rules become effective 30 days after adoption unless the Chief Operating Officer specifies a later adoption date.

The complete report, including all attachments can be viewed on the Metro website: www.oregonmetro.gov/foodscraps



The values of a regional solid waste system

Through its stewardship of the greater Portland area's garbage and recycling system, Metro seeks to:

- Protect and restore the environment and promote health for all
- Conserve natural resources
- Advance environmental literacy
- Foster economic well-being for all communities
- Ensure operational resilience and adaptability
- Provide excellent service and equitable system access

Commercial food scraps policy

January 2019



Food is the largest component of our waste stream. Almost one-fifth of what we send to landfills is food where it decays and creates methane, a potent greenhouse gas. In 2018, the Metro Council adopted a businesses food scraps collection requirement to capture the benefits of turning that material into energy and useful products.

For more than 10 years, Metro and local communities have taken steps to keep food scraps out of landfills and put them to better use. Programs were established to enable businesses in some areas to voluntarily separate their food scraps from their other garbage and have them collected separately. Those food scraps are converted to compost and energy at facilities near Corvallis.

Today about 1,400 businesses participate in this program voluntarily, but food scraps collection services are not available consistently throughout the greater Portland area, and a tremendous amount of food is still being sent to landfills. In July 2018, the Metro Council adopted a new policy requiring the largest food service businesses to separate their food scraps from other garbage starting in 2020, and smaller food service businesses will be phased into the policy over the following three years. The policy requires city and county governments, which oversee the collection of garbage and recycling, to take actions by July 31, 2019, to ensure that food scraps collection services are available to businesses in their communities starting in 2020.

Commercial Food Scraps Policy

Why did the Metro Council adopt a food scraps collection requirement for businesses?

Food is the largest component of our region's garbage: about 18 percent of our overall disposed waste. Businesses are responsible for more than half of that – approximately 100,000 tons of food per year – and food scraps collection services are not offered consistently for businesses throughout the greater Portland area.

Collecting food scraps allows that material to be used to create clean energy as well as compost products that benefit farms, nurseries and gardens. Putting food scraps in the garbage is a missed opportunity to capture these benefits and make the most of this material.

Sending food scraps to the landfill is also an environmental concern. Food scraps are a primary contributor to the production of methane in landfills. Methane has a greenhouse gas impact at least 24 times that of carbon dioxide.

This isn't just a local priority. The state of Oregon recently established a goal to recover 25 percent of wasted food by 2020. In addition, the Oregon Legislature recently amended recycling laws to encourage local governments to increase the recovery of food scraps.

Which businesses will be affected and how many?

This policy is focused on businesses and organizations that process, cook or sell food and generate large quantities of food scraps: restaurants, grocery stores, food manufacturers and processors, hospitals, hotels, nursing homes, colleges and universities, K-12 schools, catering, corporate cafeterias and others.

The quantity of food waste a business generates determines whether that business is subject to the policy and when it must begin separating its food scraps from its other garbage. (See estimation guide on page 5.)

This policy will be phased in over a period of four years and affect about 3,000 businesses in the food industry in the greater Portland area.

How will this policy be implemented?

This policy will be implemented in three phases:

- Beginning on March 31, 2020, businesses that generate 1,000 pounds or more of food scraps (the equivalent of four 60-gallon roll carts) per week will be required to separate their food scraps for collection.
- Beginning on March 31, 2021, businesses that generate 500 pounds or more of food scraps (the equivalent of two 60-gallon roll carts) per week will be required to separate their food scraps for collection.
- Beginning on Sept. 30, 2022, businesses that generate 250 pounds or more of food scraps (the equivalent of one 60-gallon roll cart) per week, along with K-12 schools, will be required to separate their food scraps for collection.

Businesses that generate less than 250 pounds of food scraps per week will not be required to separate their food scraps from their garbage, but they may do so voluntarily.

Commercial Food Scraps Policy

How will businesses implement a food scraps collection requirement?

Although this program does not add any new material to a business' existing garbage system, it will change how materials are separated and collected indoors by staff and outside by garbage haulers. Businesses are already required to have systems to recycle paper and plastic, metal and glass containers. This requirement would add food scraps to the list for food service businesses.

Implementing a new collection practice presents an opportunity to make sure the collection service fits a business' needs. Some businesses may identify opportunities to reduce or prevent food waste, donate good food or reduce the size of garbage containers.

On-site assistance will be provided by city and county recycling staff to help businesses find the most efficient and effective approach. Assistance will be designed to help ease the transition to new food scraps collection practices through staff trainings, follow-up visits, problem-solving and resources such as collection containers and educational materials.

What will it cost?

Costs will vary by business and by community. Some businesses may see cost increases with the added service of food scraps collection. Some businesses may see no increase or find savings by using smaller garbage containers or employing other waste prevention strategies. In some communities food scraps collection services, like recycling, may be included in one combined overall solid waste rate.

Metro is providing some garbage haulers with funding to mitigate increased costs of collecting and transporting food scraps so as to minimize the impacts on customers' rates.

What do businesses think?

In the three years leading up to the adoption of this regional policy, Metro staff met with food industry businesses, trade association leaders and local government partners to inform our planning process and design a system to best meet the needs of businesses and local governments.

In September 2016, a series of interviews and surveys were conducted with businesses in the region outside of Portland. Interviews included businesses currently participating in food scraps collection, businesses that previously participated but stopped, and those that were offered the service but declined it.

- Nearly 45 percent of businesses were in favor of a mandatory collection program that had all businesses participating; 15 percent had no strong concerns and would comply if required; 30 percent had some concerns about how it would work but were not opposed; and 10 percent were opposed.
- On-site assistance, containers and training materials provided by county and city government staff were highly valued by participants.
- Cost neutrality, space constraints, labor and concerns about cleanliness were biggest concerns for non-participants.
- Most commonly businesses said they wanted to reduce the garbage sent to the landfill and do something good for the environment. Saving money was not a sole consideration, but keeping costs close to neutral was important.

Commercial Food Scraps Policy

Do other communities have mandatory programs like the one the Metro Council adopted?

Yes. There are six states and 13 municipalities that have some sort of mandatory food scraps collection program or a ban on the disposal of food in a landfill. Metro learned a lot from studying these other programs. Aside from the environmental benefits, many programs have also seen other positive trends such as increased donations of good food to food banks.

Shouldn't businesses donate food instead?

Yes. Good food that has been stored properly and is fit for human consumption should be donated. However most food service businesses have other food scraps such as trimmings, bones, shells, coffee grounds, food preparation waste and plate scrapings that are not edible and cannot be donated. Those food scraps are the focus of Metro's policy.

The prevention of food waste and the donation of edible food are and will continue to be Metro's highest priority. City and county recycling staff can help businesses set up donation and waste prevention programs while assisting with food scraps collection.

What about residential food scraps collection?

The focus right now is on recovering those concentrated amounts of food scraps coming from businesses where the quantities of food scraps are the greatest. This does not detract from the importance of keeping more food scraps out of the landfill. Metro supports, but does not require, efforts of local communities to collect food scraps with yard debris from homes for composting.

Who can I contact if I have further questions?

Please contact Pam Peck at pam.peck@oregonmetro.gov or Jennifer Erickson at jennifer.erickson@oregonmetro.gov if you have questions that are not addressed here. More information is also available on Metro's website at [oregonmetro.gov/foodscraps](https://www.oregonmetro.gov/foodscraps).

How can a business know or find out how much food waste it generates?

A calculator tool on the Metro website can help a business estimate the quantity of food scraps they generate. <https://www.oregonmetro.gov/food-scraps-policy>

Clackamas County Sustainability Division Review of Food-Scraps Generating Businesses in Each City of County

Clackamas County Sustainability Division worked with Metro and solid-waste haulers to estimate the number of potentially impacted businesses by city and then sorted by group (business size).

Jurisdiction	Group 1	Group 2	Group 3	TOTAL	Currently participating
Gladstone	3	30	30	6	1
Happy Valley	5	30	30	10	8
Lake Oswego	15-30	30	30	45	33, inc. 10 schools
Milwaukie	8-10	30	30	18	13
Oregon City	15-20	40-60	40-60	35	8
West Linn	10-12	14-30	15-20	22	9
Wilsonville	15-20	40-50	15-20	35	11
Unincorporated County	40-60	40-60	40	100	42

Wilsonville Businesses Participating in Pilot Program

A total of 11 Wilsonville businesses are participating in a pilot program for commercial food-scrap collection.

Grocery Stores

- Costco Wholesale
- Fred Meyer
- Safeway

Major Employers / Institutions

- Siemens Mentor Graphics (Bon Appetit food-service)
- Coffee Creek Correctional Facility, Oregon Dept. of Corrections
- Collins Aerospace
- Eaton Corporation
- ESS Inc.
- Swire Coca-Cola, USA

Restaurants

- Cafe Yumm! - Wilsonville
- McMenamins Old Church Pub - Wilsonville

ATTACHMENT B COMPOSTING. IT'S GOOD FOR BUSINESS!

Food scraps collection service is available in your area. Join other businesses in local efforts to reduce waste and keep food out of the landfill.

A Clackamas County Sustainability Advisor can provide free personalized assistance, staff training, indoor collection containers, signage, and stickers to help you make this adoption process smooth.

Why collect your food scraps?

- Reduce food costs by tracking food waste caused by over-ordering and over-production.
- Keep food out of the landfill, preventing greenhouse gas pollution.
- Support local production of electricity and fertilizer.
- Build stronger connections with like-minded customers.
- Composting is a full-circle system, creating food from food within our communities.

NO!

- Liquids, grease or cooking oil
- Plastic or Styrofoam
- Glass
- Metal
- Garbage
- Waxed cardboard
- To-go containers



¡NO!

- Líquidos, grasa o aceite de cocinar
- Plástico o Poliestireno
- Vidrio
- Metales
- Basura
- Carton encerado
- Recipientes para llevar comida



For more information or to schedule a visit:
(503) 742-4458 | lis@clackamas.us

FOOD DONATION

Donating food is a great way to ensure the edible food you cannot use goes to families or individuals in need. Not only is this the best and highest use for unwanted food, it is also tax deductible, and food donors are protected by Good Samaritan laws.

A Clackamas County Sustainability Advisor can work with your business to help you find organizations in your community, set up a program, and train staff.

Why donate food?

- Feed hungry people in your community.
- Keep edible food out of the landfill and avoid costly disposal fees.
- Qualify for tax deductions.
- Build stronger relationships with customers, your community, and local organizations.



Gleaners of Clackamas County

For more information or to schedule a visit:
(503) 742-4458 | lis@clackamas.us

